



Guildford-Mandon Heritage Area Policy Statements (Part A)

Acknowledgement of Country

Ngalak Maali Boodja Kaditj

Whadjuk Moort Noongar Boodjara Baalap Kalyagool Noyyang Boodja Kep Moort

Ngalak Kwabaduk Wirn Kabarli Bworan Kora Kora Yeyi Ngoongoolong

The City of Swan acknowledges the traditional custodians of this region, the Whadjuk people of the Noongar Nation and their continuing connection to the land, waters and community.

We pay our respects to Elders past and present, and their descendants.

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2. OBJECTIVES

The objectives of this Policy are:

- 1) To conserve and protect the cultural heritage significance of the Guildford Heritage Area as identified by its entry of the State Register of Heritage Places and as a designated Heritage Area protected under the City's Local Planning Scheme.
- 2) To ensure that change within the Guildford Heritage Area is undertaken in a way that respects and enhances its cultural heritage significance.
- 3) To inform new design so that it successfully integrates with Guildford's historic context and streetscape character.
- 4) To ensure the retention of the streetscapes, landscapes and buildings which contribute to the identified heritage character of Guildford.

3. APPLICATION OF POLICY

This policy applies to all land and **development** within the **Guildford Heritage Area**. The extent of the Heritage Area is shown in **Map 1**.

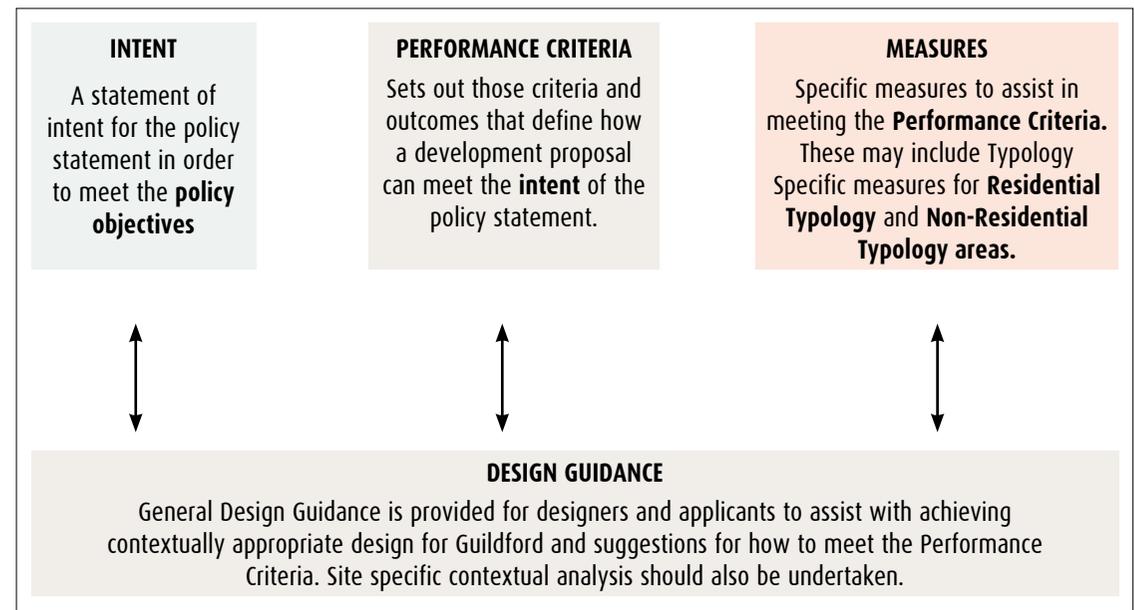
This policy will also be applied when making recommendations to the Western Australian Planning Commission on structure plans and subdivision or amalgamation of land to ensure that, at the discretion of the City, lots created can be developed in accordance with the Policy.

This Policy is to be read in two parts, the Policy Statements (Part A) to be read in conjunction with the Character Statements (Part B). Specifically reference should be given to the immediate contributory context of the relevant Character Statement of Guildford in which the property is located.

Defined Terms

All defined terms are in **BOLD** with definitions included in Section 12.

POLICY STATEMENTS (Part A)



CHARACTER STATEMENTS (Part B)

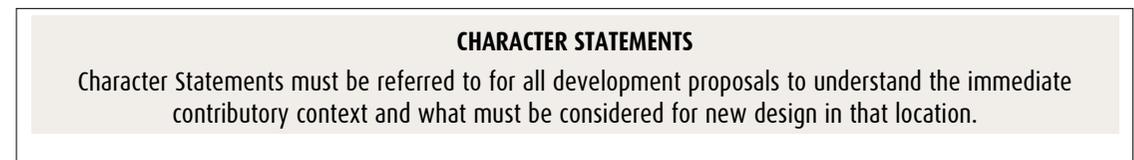
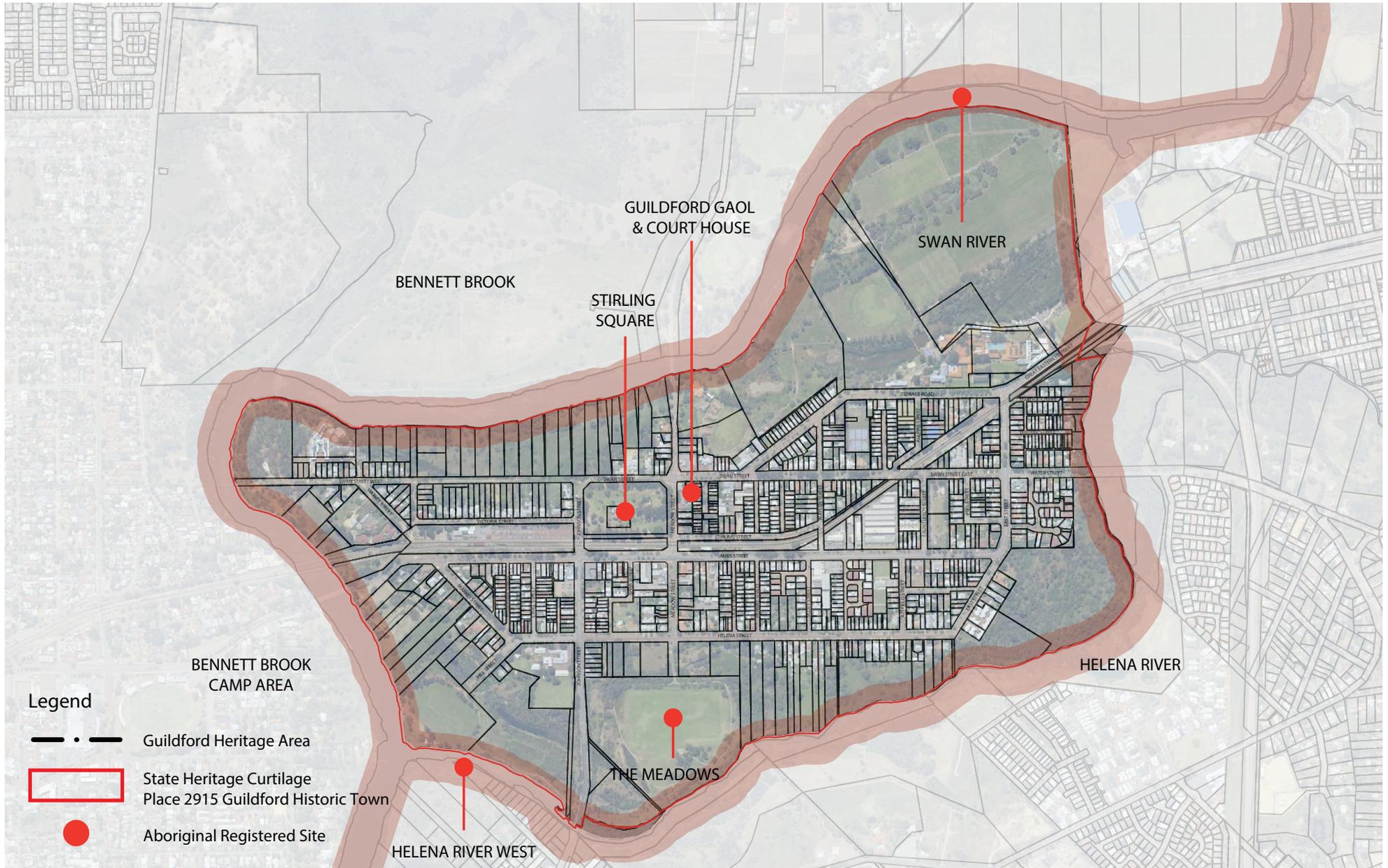


Figure 1. How to use this Policy



MAP 1 - Guildford-Mandon Heritage Area

4. RELATIONSHIP TO PLANNING FRAMEWORK

Relationship to the Planning Framework

This policy is made pursuant to Schedule 2, Part 2 of the Planning and Development (Local Planning Schemes) Regulations 2015 (Regulations) and Part 7 of the Residential Design Codes. It is to be read in conjunction with Local Planning Scheme No. 17 (the Scheme) and all relevant local planning policies.

In accordance with the Planning and Development Act 2005 where the Scheme, structure plan or any other plan is inconsistent with this policy the Scheme provision(s) shall prevail. Where an inconsistency exists between this Policy and another adopted local planning policy, this Policy prevails to the extent of the inconsistency.

Relationship to Aboriginal Heritage Act 1972

Aboriginal Heritage is governed under the Aboriginal Heritage Act 1972, however Guildford Heritage Area contains or overlaps the following registered Aboriginal Heritage sites:

- ID 3536 (Swan River)
- ID 3545 (Helena River West)
- ID 3609 (The Meadows)
- ID 3617 (Stirling Square)
- ID 3758 (Helena River)
- ID 20142 (Guildford Gaol & Court-House Precinct)

Refer to Map 1 for indicative siting of current registered Aboriginal sites within Guildford.

Sites such as the Swan and Helena Rivers extend along the breadth of the rivers and include numerous locally significant sites such as “Devil’s Elbow”, resting site of the Waugal. It is important to note Approval is required under the Aboriginal Heritage Act 1972 from the Department of Planning, Lands and Heritage for any works impacting an Aboriginal Heritage site.

Developers are expected to consult with local knowledge holders and the representative body (Whadjuk People Indigenous Land Use Agreement Group via South West Land and Sea Council) regarding the proposed development.

Relationship to the Residential Design Codes

As Guildford was largely developed pre-1945, strict adherence to modern residential development standards has potential to impact on the heritage significance of Guildford. This Policy specifies the controls applicable for the area to ensure this heritage significance is retained and therefore overrides the existing controls where necessary to conserve the cultural heritage significance. Residential zoned properties within the Guildford Heritage Area have an R5 density coding and application of this Policy should be generally consistent with the provisions applicable within State Planning Policy 7.3 – Residential Design Codes Volume 1 (R-Codes Vol. 1), except where augmented by this policy.

As a result of Guildford’s unique topographical and historical land tenure, Clause 5.3 of LPS17 permits a variation to development requirements which would not usually be permitted – i.e. the development controls applicable for R5 coded properties. Many of the properties within the policy area do not strictly comply with the development controls for the R5 density code due to lot size constraints and historical site planning. Guidance may be taken from the development controls for R20 where this Policy does not apply to site planning controls (e.g. lot boundary setbacks and open space), and will be assessed against the relevant design principles of the R-Codes Vol. 1 and/or Performance Criteria of this Policy.

The policy seeks to reinforce appropriate single house development which is generally detached in nature with the scale of development being proportionate to the size of the house and the prevailing streetscape context.

Below is a table which outlines which provisions of the R-Codes Vol. 1 have been replaced or modified by the policy and the specific sections of the policy that are applicable or to be taken into consideration alongside an assessment using the R-Codes Vol. 1.

All other clauses of the R-Codes apply as relevant for development proposals in Guildford.

SPP7.3 Volume 1 Design Element	R5 R-Code Deemed-to-Comply requirement	R-Code or GHA LPP Local Housing Objective equivalent (SPP7.3 Cl.7.3.1 & 7.3.2) only where R5 design is unfeasible
5.1.2 C2.1	Primary street setback - Table 1: 12m Secondary street setback - Table 1: 6m	Primary street setback (8.4): Subject to contributory street setbacks Secondary street setback: Consistent with contributory precedence, otherwise 1.5m minimum to other
5.1.3 C3.1(i) Lot boundary setback	Side boundary setback - Table 2a/2b: min. 1m/1.5m (varies due to wall height, wall length, major openings) Rear boundary setback - Table 1: 6m Boundary walls only permitted where it abuts an existing or simultaneously constructed boundary wall of equal or greater dimension	Side & rear boundary setback: Table 2a/2b - min. 1m/1.5m (varies due to wall height, wall length, major openings, and contributory precedence) Boundary walls only acceptable where there is a contributory precedent (i.e. duplex or terraced housing)
5.1.4 C4 Open space	70% of site area	Consistent with contributory context, otherwise minimum 50% of site area
5.1.6 C6 Building height	Top of external wall (roof above): 7m Top of external wall (concealed roof): 8m Top of pitched roof: 10m	GHA LPP - Plate height - 8.3 & 8.4 Single storey: Min 3m - max 4.2m Double storey: Min 5m - max 6.3m Note: as max roof height is not specified in Policy, max roof height in the R-Codes will be applied, however roof pitch will limit overall height
5.2.1 C1.1-1.5 Setback of garages and carports	Garages setback 4.5m from the primary street or sited at least 0.5m behind the main dwelling frontage, 3m where parallel to street, provided the parallel wall has openings, 1.5m from secondary streets, and on the boundary of communal streets or right of ways Carports setback in accordance with the primary street setback under Cl.5.1.2	Unless proven to be unfeasible in a development proposal, all carparking structures are to be sited to the side or rear of dwellings and at least 0.5m behind the primary building line 8.3 - Additions and alterations 8.4 - New built form All performance criteria, measures and design guidance of 8.9 - Parking and vehicle access apply

SPP7.3 Volume 1 Design Element	R5 R-Code Deemed-to-Comply requirement	R-Code or GHA LPP Local Housing Objective equivalent (SPP7.3 Cl.7.3.1 & 7.3.2) only where R5 design is unfeasible
5.2.2 C2 Garage width	No more than 50% of lot frontage as at the setback line viewed from the street. Can increase to 60% with balcony above and where entry to dwelling is clearly visible from primary street	Garage doors no greater than 30% of lot frontage where facing or visible from the street, or 6m (the lesser). All performance criteria, measures, and design guidance of 8.9 - Parking and vehicle access apply
5.2.4 C4 Street walls and fences	50% visually-permeable above 1.2m height with pillars maximum height 1.8m with maximum horizontal dimensions 400mm x 400mm 1.8m to secondary street	1.2m maximum height for fencing within the primary street setback area 1.8m for all other streets (excluding fencing within the primary street setback area: limited to 1.2m) 8.7 - Fencing and boundaries
5.2.6 C6 Appearance of retained dwelling	Where existing dwelling retained as part of grouped dwelling development, the appearance of the retained dwelling is upgraded to match new development	8.2 - Conservation of Contributory Buildings
5.4.3 Outbuildings	Large & Multiple Outbuildings (i) Does not exceed 60m ² or 10% of site area, whichever is the lesser; (ii) set back as per Table 2a; (iii) wall height <2.4m; (iv) ridge height <4.2m; (v) not within the primary or secondary street setback area; and (vi) does not reduce the open space and outdoor living area as per Table 1.	8.3 Alterations and Additions 8.3.1 Ancillary Built Form New sheds and outbuildings will be located behind the primary building and be distinctly smaller in scale, freestanding and built using traditional materials if visible from the street. Otherwise, they shall not be visible from the street
5.4.4 C4.1, C4.2, C4.3, C4.4 External fixtures, utilities and facilities	Solar collectors installed on the roof or other parts of buildings Television aerials and plumbing vent pipes sited above roof line and external roof water down pipes All other fixtures concealed from view Also note C4.5 lockable storage area	Concealed from the streetscape, and if possible the public realm, and avoiding damage to contributory elements All performance criteria, measures, and design guidance apply in 8.11 Other Also refer to HCWA Renewable Energy Systems in State Registered Places Guidelines

5. WHY IS THE GUILDFORD HERITAGE AREA SIGNIFICANT?

Guildford Heritage Area is recognised locally for its significance for the following heritage values:

- Guildford, also known as “Mandoon” or “Place of Many Trees”, which continues to be valued by the Whadjuk Nyoongar people for its extensive tree canopy, alluvial wealth and source of food present in the floodplains;
- It is one of the original three settlements of the Swan River Colony; surveyed by H.C. Sutherland in 1829;
- Guildford is a 19th century townsite in uniquely intact condition in the Western Australian context with its original rectilinear lot pattern and grid street layout still highly legible;
- Stirling Square is the oldest public park in Western Australia, originally planned in 1829;
- Guildford features distinct characteristics of historically significant periods of development, transport, global events, and major growth for Western Australia from its original settlement in the early 1800s to the present day;
- The evolution of housing needs and architectural styles during this time remains evident in the built form of Guildford from austere Colonial civic buildings to grandiose households of the Gold Boom era to modest simple cottages of the inter-war era;
- The townsite is associated with early settlers of the Swan River Colony, including Governor James Stirling and pioneering post-colonisation families of the Swan district;
- Guildford is a rare example of a townsite nestled in the confluence of the Swan and Helena Rivers which has lent to its compact low rise village scale;
- Guildford is accessible by three timber bridges that form a cohesive group built within a ten year period during the last phase of major timber bridge construction in WA, with a high level of original fabric which remains in all three locations and a land bridge dating from the mid-1800s to the mid-1900s, which are:
 - Barker’s Bridge over the Swan River (northern entrance);
 - The Bassendean Bridge over the Swan River (western entrance); and
 - The Johnson Rd Bridge over the Helena River (southern entrance).

- The siting of Guildford as a rural inland port contained by the riverine environs is still reflected by its large ribbon allotments along the northern, western and southern boundaries of the townsite.

The Heritage Council of Western Australia State Statement of Significance informing Guildford Historic Town’s inclusion on the State Register of Heritage Places is contained within Appendix 1 of this policy.

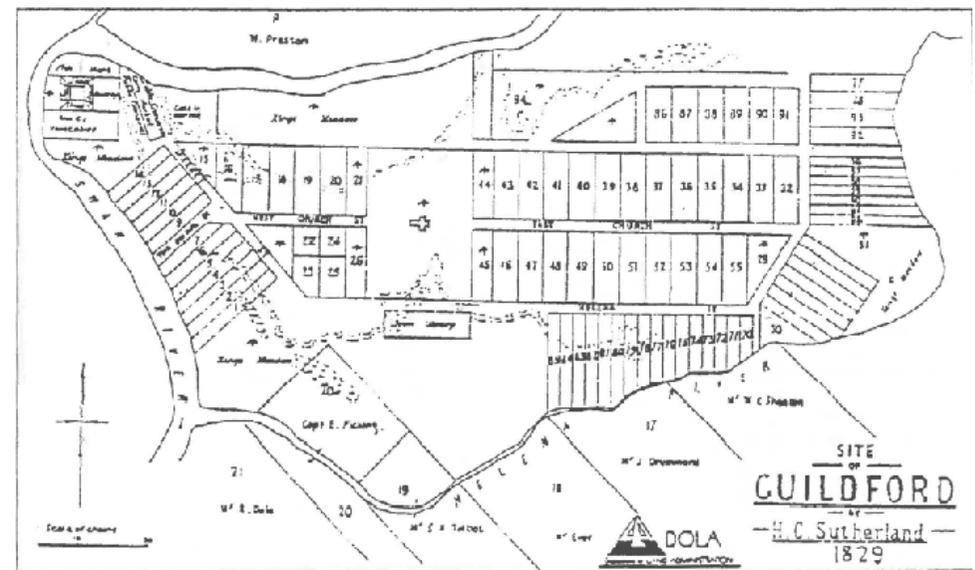
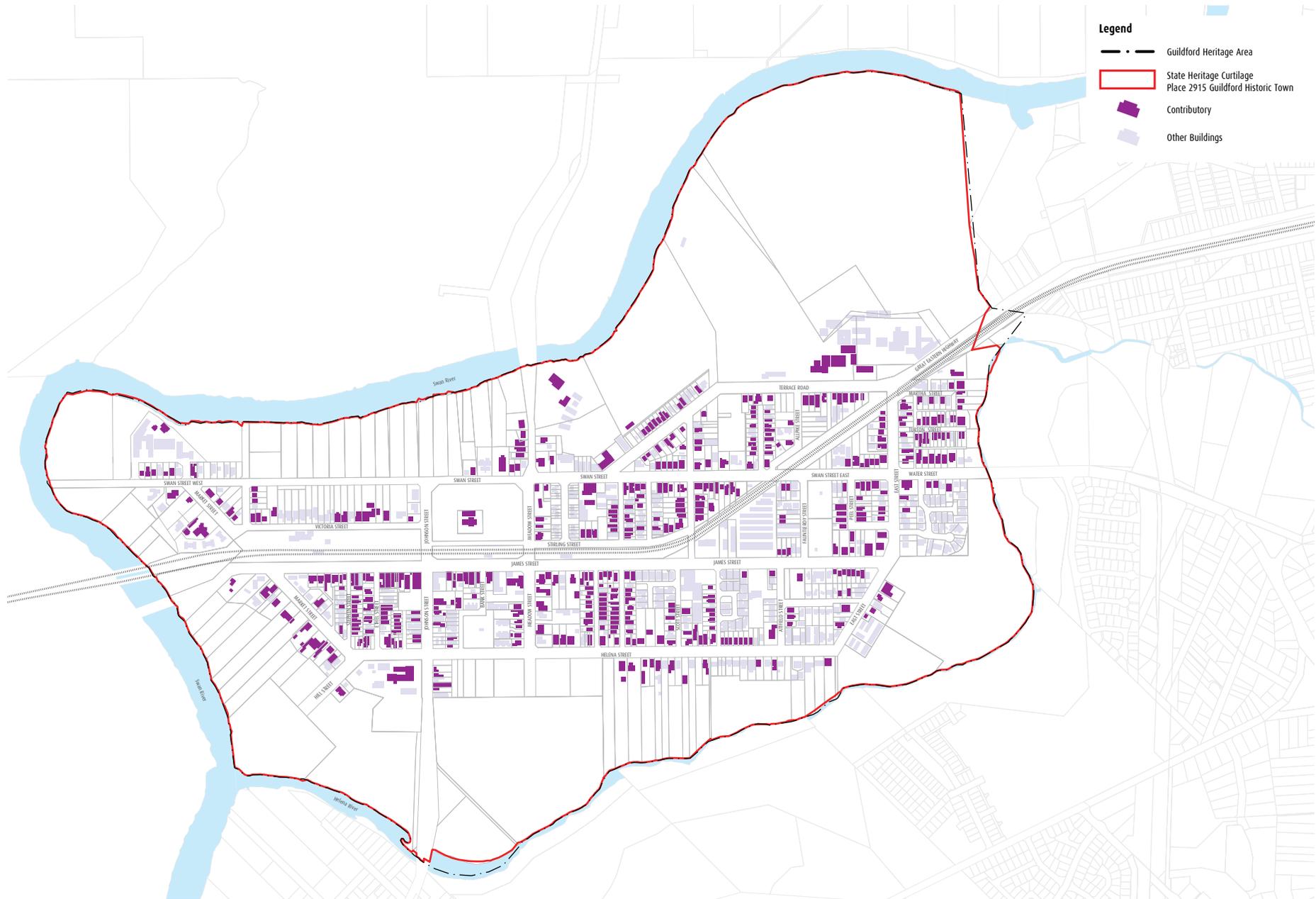


Figure 1 H.C. Sutherland 1829 Map of Guildford Townsite

6. CONTRIBUTORY PLACES

Guildford is recognised as a uniquely intact 19th century townsite first established in 1829 as one of the original three townsites of the Swan River Colony. Properties within the Guildford Heritage Area constructed up to and including 1945 are defined as contributing to the cultural heritage significance of the area and defined as **'contributory'**.² This can include, but is not limited to, built form. Refer to section 11 and **Map 2** for definition of these terms. Buildings that are not considered contributory to the heritage significance of the Guildford Heritage Area are still subject to the application of this policy in regard to any **development** in whole or part, as new works have the capacity to impact upon the Heritage Area if they are not managed appropriately.

² Those built after 1945 - although not defined as 'contributory' may also be included on the City's Heritage List on an individual basis.



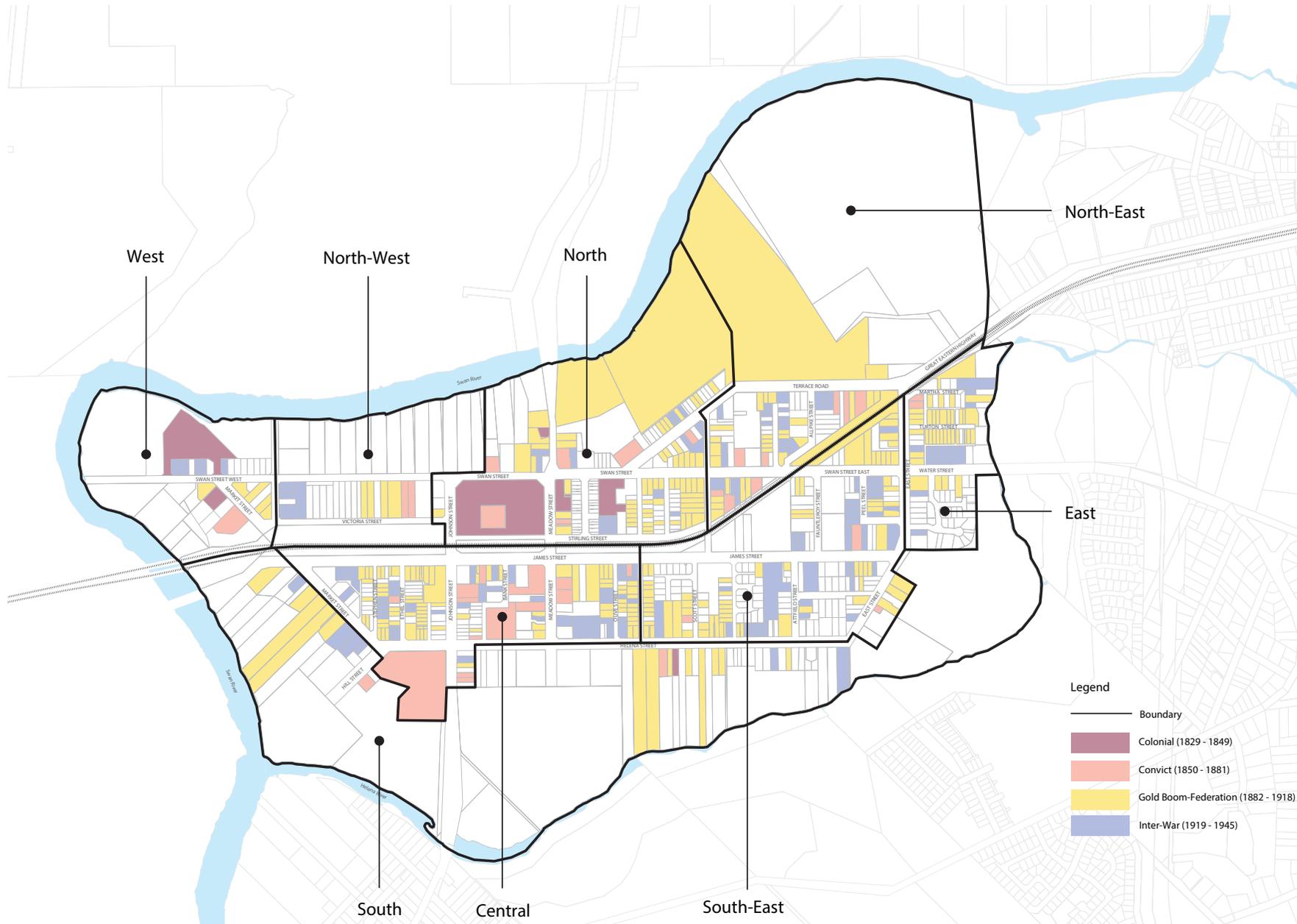
MAP 2 – Guildford Heritage Area – Contributory places

7. CHARACTER STATEMENTS

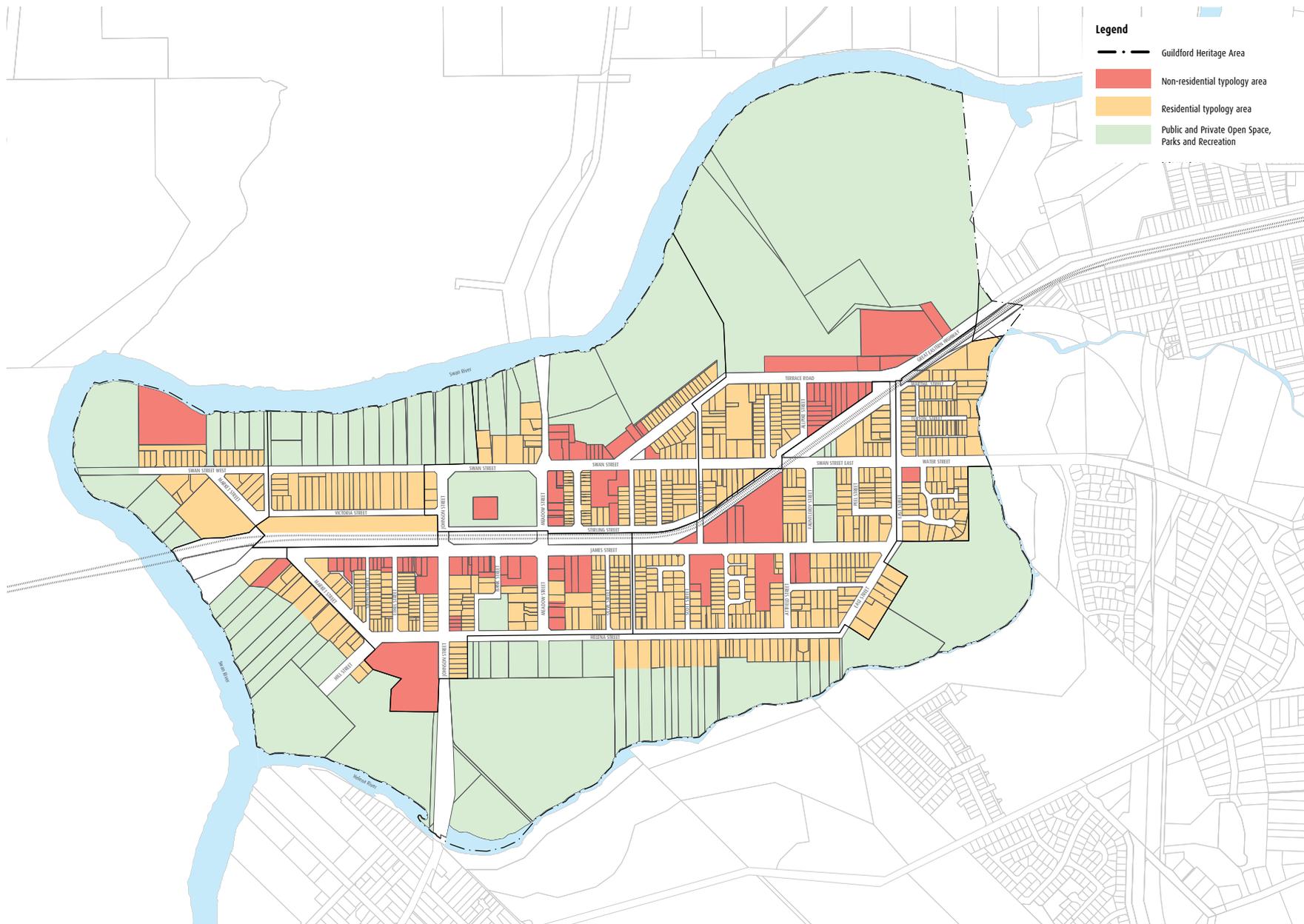
The **Guildford Heritage Area** has also been recognised for its significance at a local level leading to the City of Swan developing a series of Character Statements to capture the character and quality of Guildford. Local character within the Guildford Heritage Area varies from street to street due to differences including lots sizes, street widths, vehicular and pedestrian traffic volumes, building typologies and uses. To assist understanding of Guildford's character and aid assessment, the Character Statements refer specifically to eight areas of Guildford designated by location. Refer to **Map 3** illustrating the eight Character Statement contexts of the Guildford Heritage Area.

Part B – Character Statements provide definition and guidance for heritage character context identified within the Guildford Heritage Area. The relevant Character Statement will inform the proposed design and be addressed in the accompanying Character Impact Statement when submitting any development application within the Guildford Heritage Area.

For ease of application this policy will provide design guidance for places of '**Residential Typology**' and '**Non-Residential Typology**'. These terms are defined under section 12 of this document. Refer to **Map 4** for the distribution of these typologies across the Guildford Heritage Area.



MAP 3 - Character Statement Context (Overall Map)



MAP 4 - Residential/Non-residential typology Area



8. POLICY STATEMENTS

The following Policy Statements set out the appropriate means to conserve and manage the change of elements which contribute to the significance of the Guildford Heritage Area. These have been identified by the Heritage Council of Western Australia and in the Character Statements contained within Part B of this Policy.

8.1 Demolition and Relocation

INTENT: The loss of a **Contributory Place** negatively impacts on the cultural significance and character of the Heritage Area. Once gone, it can never be replaced. Demolition of a Contributory structure is rarely appropriate and there is a presumption against demolition within **Contributory Places** (including buildings) in State Registered heritage places. It is acknowledged that there will be exceptional circumstances where demolition cannot be avoided. In these circumstances, the onus rests with the applicant to provide a sound justification for demolition within a **Contributory Place**. Demolition approval will not be granted because redevelopment is a more attractive economic proposition, or because a building has been neglected. The physical location and context of a place also forms part of its understanding and significance and therefore relocation of built form within a Contributory Place is generally unacceptable unless this is the sole means of ensuring its survival.

Performance Criteria	Measures
<p>C8.1.1 There is a presumption against the demolition of Contributory built form in State Registered heritage Places. In the Guildford Heritage Area this includes all properties constructed up to and including 1945. These properties were built during the five key development periods outlined within the statement of significance for the Guildford Heritage Area and are identified as having primary significance within the registered heritage curtilage.</p> <p>C8.1.2 Demolition of Contributory built form is avoided. In circumstances where demolition approval is sought the onus rests with the applicant to provide a compelling justification for it.</p> <p>C8.1.3 Contributory secondary structures, such as wells, stables, sheds and fabric associated with the context of a Contributory Place are to be retained and conserved. These elements contribute to the understanding of a place and add points of visual interest to the Heritage Area.</p> <p>C8.1.4 Relocation of Contributory built form is avoided. Relocation of contributory structures is detrimental to the context and understanding of the Heritage Area and will not be supported without sound justification that this is the sole means of ensuring survival.</p> <p>C8.1.5 Partial demolition of non-contributory or intrusive elements to accommodate conservation and enhancement of Guildford Heritage Area is encouraged.</p> <p>C8.1.6 Where proposing to remove portions of structures or built form through partial demolition within a Contributory Place that is not visible from the public realm, refer to Policy Statement 8.3 - Alterations and Additions.</p>	<p>M8.1.1 Demolition of any building in the Heritage Area requires development approval by the Council.</p> <p>M8.1.2 Demolition of any building will not be permitted where there has been a demonstrable period of neglect leading to deterioration in the building's condition.</p> <p>M8.1.3 Contributory built form will not be approved for demolition other than in exceptional circumstances where it has been assessed as structurally irredeemable based on:</p> <ol style="list-style-type: none"> Assessment by a qualified structural engineer with heritage experience and supported with a Heritage Impact Statement prepared by a heritage consultant. The City may also obtain its own independent heritage advice prior to making a determination. <p>M8.1.4 Consideration of an application for demolition within a Non-Contributory Place will be based on one or more of the following:</p> <ol style="list-style-type: none"> Assessment of the cultural significance of the building and its contribution to the cultural significance of the heritage area. The extent to which the place demonstrates stylistic characteristics of the five key periods of development of the Heritage Area. Inclusion of a proposal for a new building in its place which complies with the provisions of this policy and the local planning scheme; and Entering into a Heritage Agreement with the City to establish a finite timeframe for new development to be completed. <p>M8.1.5 Relocation of Contributory built form will only be permitted when this is the sole and unavoidable means of ensuring its survival.</p> <p>M8.1.6 Secondary structures related to a Contributory Place may be relocated to elsewhere within the lot where it can be demonstrated through the provision of a Heritage Impact Statement that relocation has no impact on the significance of the Contributory Place or the surrounding area.</p> <p>M8.1.7 Elements of Contributory Places will only be considered for demolition where retention in the original location is not possible and the applicant demonstrates that the removal has no adverse impact on the cultural heritage significance of the Heritage Area based on:</p> <ol style="list-style-type: none"> An assessment of the cultural heritage significance of the building and the contribution that the subject elements make to the significance of the Heritage Area and its Character Statement, supported by a Heritage Impact Statement prepared by a qualified heritage consultant. The City may also obtain its own independent heritage advice prior to making a determination.

Design Guidance

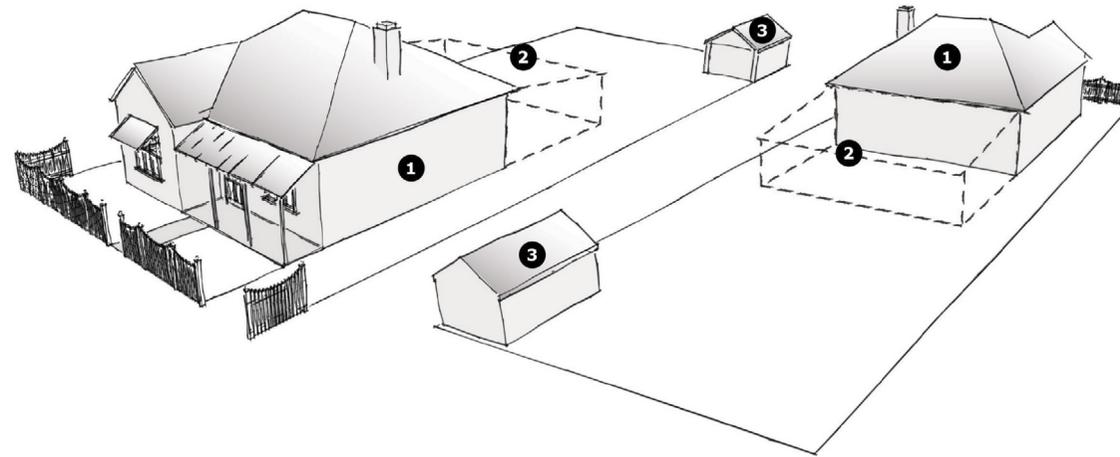
DG8.1.1 Retain the primary Contributory **built form** volume located under the full extent of the main roof form and include feature components as below.

DG8.1.2 Traditional landscaping, front fences, street facades at both ground and upper levels, roof form and **original** chimneys, verandahs and awnings, window and door openings and associated frames, sills and fittings, wall vents, and external finishes and decorative elements where they have not been substantially altered through later additions are to be retained.

DG8.1.3 In corner lot situations or instances where **Contributory Places** are visible to the public realm from multiple street frontages, the requirements of retention within DG8.1.1 are also applied to each of the street facing elevations.

DG8.1.4. Places which have significant visibility from the public realm, in particular sites where the topography provides a natural prominence to the place, require a greater level of retention to ensure there is no adverse impact on the aesthetic characteristics of the place and its contribution to the picturesque character of the Heritage Area.

DG8.1.5 Retain secondary structures which relate to the context of the Contributory Place and contribute to the history and character of the place.



- 1 Retain the primary contributory building volume located under the full extent of the main roof.
- 2 Demolition of existing extensions may be possible to allow new additions if they do not contribute to the significance of the Heritage Area or to an individual heritage listed place.
- 3 Retain secondary structures which relate to the context of the contributory building.

Figure 2. Retention of Contributory Places

8.2 Conservation of Contributory Places

INTENT: Conservation works to **Contributory Places** are essential for protecting a place and ensuring its long-term survival and ongoing contribution to the significance of the Heritage Area. Conservation works can include repair, maintenance, restoration and reconstruction of **Contributory Places** and elements with the appropriate conservation approach for individual buildings based on an understanding of the significance of that place, and in consultation with a qualified heritage professional.

With good conservation practice the history and character of the Guildford Heritage Area can be fully appreciated by retaining a patina of age in the built environment while restoring key elements that relate to the specific significant phases of **development**, namely those buildings dating from 1829 up to and including 1945.

The **ICOMOS Burra Charter** (ICOMOS, 2013) establishes the principles and procedures to be followed in the conservation of Australian heritage places. Its primary purpose is to ensure that the cultural heritage significance of heritage places is understood to inform change and that change responds to and conserves that significance accordingly.

In particular, that conservation and repairs are undertaken 'like-for-like' in terms of appearance and functionality.

Performance Criteria	Measures
<p>C8.2.1 Contributory Places are retained and conserved in accordance with the best practice principles set out in the ICOMOS Burra Charter (ICOMOS, 2013).</p> <p>C8.2.2 Historic shopfronts, including awnings and verandahs are retained, conserved and, where missing, reconstructed to match a known original appearance.</p> <p>C8.2.3 Contributory Places retain their original or most significant stage of appearance and any restoration work to match that appearance is based on photographic, archival and physical evidence.</p>	<p>M8.2.1 Ensure that works retain, conserve and restore the following:</p> <ol style="list-style-type: none"> Elements, features and finishes of any identified contributory places in their original, or most significant state. Contributory elements such as ancillary buildings and secondary structures including fences, gates, wells and gardens. Facade elements including original openings, decorative elements and joinery to doors and windows. Contributory or early shopfronts, the proportions of those shop fronts and their materiality. <p>M8.2.2 Ensure that conservation works:</p> <ol style="list-style-type: none"> Retain the original materials or replace on a like for like basis if damaged beyond repair. Do not reproduce period detailing to shopfronts or facades unless it is restoring the building to a known original appearance based on evidence. Are based on historical documentation such as early drawings or photographs, physical evidence found on site or neighbouring buildings of a similar design and era.

Design Guidance

DG8.2.1 General

- a. Refer to the Character Statement specific to any subject place for an understanding of the prevailing character context and street prior to undertaking any conservation works which alter external presentation of a subject place.
- b. Repairs to **Contributory Places** prioritise the retention of traditional materials and the **original** or most significant appearance of the building.
- c. Where the street facing portion of a **Contributory Place's** built form has been altered in the past, restoration to match its **original** appearance using traditional materials, based on archival or physical evidence is encouraged to enhance its contribution to the streetscape character.
- d. Where conservation works need to be balanced with other building code requirements, design solutions will focus first and foremost on respecting the historic streetscape character of the **Contributory Place**. Subject places which are heritage listed in their own right will also need to consider any impact on their individual values and significance.

DG8.2.2 Roofs

- a. Where roof cladding requires replacement, new material will match the **original** based on physical or documentary evidence. Where **original** roofing material is unknown, the relevant Character Statement for the subject place will inform the most appropriate materiality selection. In most cases this will be corrugated galvanised iron or terracotta tiles.
- b. Gutters and downpipes match the **original** style of the building. Typically, **original** rainwater goods will be Ogee, round, or half round profile.
- c. Chimneys, inclusive of pots and other **original** elements are retained, with missing or damaged chimneys designed to match the **original**.

DG8.2.3 Walls

- a. Brickwork – existing exposed brickwork remains uncoated by paint or render. Repoint brickwork when required with a mortar mix and joint profile to match the **original** in composition and appearance. Where **original** exposed brick has been painted, restoration to **original** face brick is encouraged.
- b. Render – external render was used sparingly as a decoration to brick buildings rather than the predominant finish and was often painted. The presence of decorative render elements is not a precedent for introducing a rendered finish to previously unrendered portions of a building.
- c. Weatherboards – painted hardwood horizontal weatherboards are retained and restored. Where weatherboards require replacement, new elements match the type of material (timber), width of board, profile and lapping of the **original**.

DG8.2.4 Verandahs

- a. Roofs – verandah roofs reflect the style of the building to which they belong and are based on the **original** design where known.
- b. Posts/ Balustrades – verandah posts and balusters are always timber. Retain and restore **original** material or where it has been previously lost replace to match the profile of the **original** and style of the building to which they belong.
- c. Decking – timber decking is a traditional finish to be retained and restored where existing, and utilised as the preferred materiality where a verandah is being reconstructed.

Design Guidance

DG8.2.5 Windows and Doors

- a. Windows – window types, grouping, sizes, materiality, detailing and fixtures are retained or restored to their **original** or most significant appearance. Typically windows are casement or double sash with timber framing. Replacement or addition of aluminium or other metal frames is not a suitable design approach. Returning **original** windows to functional order is encouraged.
- b. Original glazing is retained unless there is unavoidable need for replacement. Replacement glass should match **original** and be non-reflective.
- c. Doors – **original** openings to be retained or restored to match **original** arrangement and appearance.

DG8.2.6 Ornamentation

- a. Modest ornamentation was applied to some **Contributory Places** originally. Where demolished or altered ornamentation is to be restored to **original** state and evidence that it existed in that state originally is required.

DG8.2.7 Painting

- a. Paint colours to external timber elements are selected:
 - i. to match **original** colours based on investigation; or,
 - ii. in keeping with traditional colour schemes for buildings of a similar style and era of **development** within the relevant Character Statement.
- b. Retain unpainted brick, masonry, render or roughcast surfaces.
- c. Remove paint from surfaces which were not originally intended to be painted through non-abrasive methods. Test any paint removal methods such as chemical paint strippers or steam cleaning in a concealed location prior to applying to visible surfaces. Abrasive approaches including sandblasting or grinding are not acceptable.

DG8.2.8 Shopfronts

- a. Traditional shopfronts are ordinarily timber frame with mild steel or copper trim. Glazing does not go to the ground but is raised on a 450-600mm 'stall riser' which is brickwork, either rendered or tiled. Entries are recessed (re-entrant doorways) and often the threshold is tiled. Retain the arrangement and appearance of **original** shopfronts. Where shopfronts have been previously altered, restoration to match the **original** is encouraged.

DG8.2.9 Awnings over shops

- a. Roofs – shopfront awnings roofs should reflect the age and style of the **Contributory Place** and may include skillion, concave or bullnose roof forms, clad in corrugated iron.
- b. Posts/ Balustrades – posts can be either simple square timber post or more ornate cast iron to reflect the age and style of the **Contributory Place** in its **original** or most significant form. Where **original** posts remain, they are to be conserved.



Marseilles Pattern Tiles



Ogee gutters and downpipes are traditional to Guildford



Pre finished steel



Slate



Galvanised iron or zincalume short sheets

Figure 3. Roofs

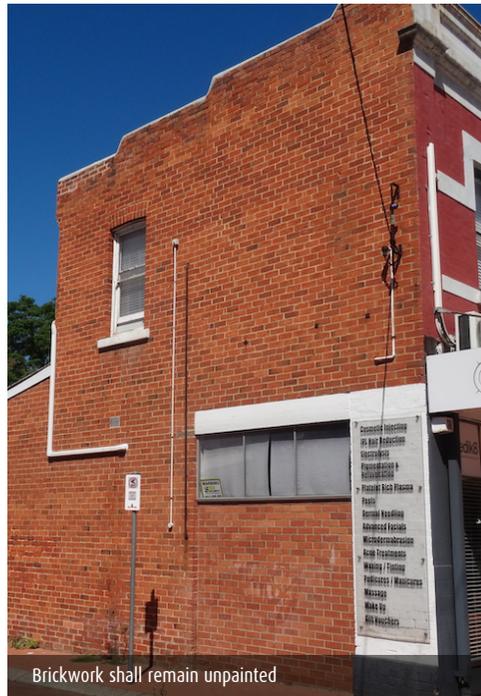


Figure 4. Walls

Figure 5. Verandahs



Typical arrangement of windows and doors

Figure 6. Windows



Traditional shop front with signage that complies with policy

Figure 8. Shop fronts



Traditional colour palette used on restored verandah

Figure 7. Painting



Skillion awnings over shops along James Street

Figure 9. Awnings

8.3 Alterations and Additions

INTENT: Most existing buildings can accept some level of alteration or new additions without having a negative impact on the cultural significance and character of the Guildford Heritage Area. Acceptable new alterations and additions do not visually intrude on **Contributory Places** or the overall streetscape and are consistent with the character of the area in which they are located taking into account style, scale, materiality, form, function and siting.

8.3.1 Ancillary Built Form

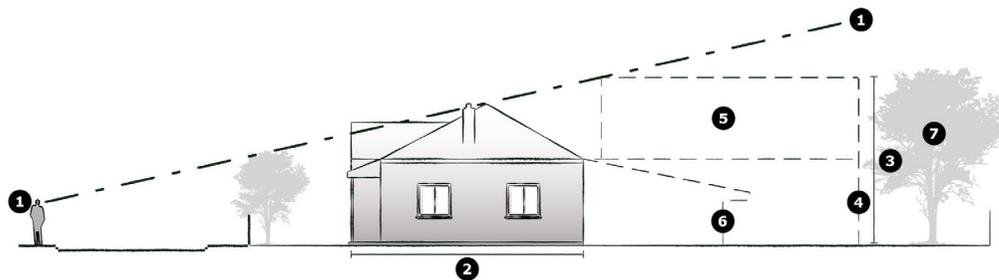
INTENT: To ensure new additions including sheds and outbuildings do not visually intrude on **Contributory Places** or the overall streetscape context of Guildford. Built form ancillary to residential dwellings and non-residential buildings including sheds and outbuildings should not be visible from the street, however, where they must be visible, they shall be built in accordance with the requirements of an addition or new built form.

Performance Criteria	Measures
C8.3.1 Additions respect the predominant scale (height, bulk, density and pattern of arrangement) of the existing building and do not have an adverse visual impact on it.	M8.3.1 Additions to existing buildings of a residential typology shall appear as single storey when viewed from the street, unless they are located in a streetscape which has a prevailing contributory two storey character.
C8.3.2 Additions are compatible to the predominant form and character of the existing building, its streetscape context and the urban character in the surrounding area.	M8.3.2 Additions to existing buildings of a residential typology are not to be located in the area visible from the Primary Street (refer Figure 10). Applicants must demonstrate this in all development applications.
C8.3.3 Alterations and additions do not remove significant elements through partial demolition of the Contributory Place . Removal of fabric which contributes to the cultural heritage significance of the subject place or the Guildford Heritage Area is an irreversible change.	M8.3.3 Additions to existing buildings of a Non-residential typology may be up to two storeys in height, to a maximum roof height of 9 metres, and must be in scale with the prevailing contributory existing buildings and character of the streetscape.
C8.3.4 Where proposing to remove structures or built form through demolition within a Contributory Place , refer to Policy Statement 8.1 - Demolition.	M8.3.4 Additions visible from the public realm are to be built of traditional materials and visually compatible but easily distinguishable from the original building form.
C8.3.1.1 All ancillary built form must be located behind the building line and not be visible from any street. Where an outbuilding or shed is proposed in a visible location, the provisions of Part 8.4 New Built Form will apply.	M8.3.1.1 - New ancillary built form such as sheds and outbuildings will be located behind the primary building and be distinctly smaller in scale and freestanding. Where an ancillary structure is proposed in a visible location, the provisions of 8.4 New Built Form will apply.

Design Guidance

DG8.3.1 GENERAL

- a. Refer to the Character Statement relevant to a specific subject place for an understanding of the prevailing character context and the appropriate forms and materials to be used in informing the design of alterations and additions.
- b. **Contributory Places** retain visual prominence to the primary and secondary streets.
- c. New additions to **Contributory Places** are not visible from the primary street frontage.
- d. New additions that are visible from surrounding streets are in keeping with materiality, form and character of their Character Statement context
- e. New additions to **Contributory Places** respect the design of the building but are visually distinguishable from the **original fabric**.
- f. Additions do not extend forward or laterally from the **Contributory Place** envelope.
- g. New additions while being sympathetic in their design and appearance, do not copy traditional decorative elements.
- h. Verandahs may only be added to street facing façades of a **Contributory Place** where there is evidence that one was originally constructed to the place in the nominated location. They are to be reconstructed to **original** detailing.



- 1 Additions are located behind the primary building to areas not visible from the public realm.
- 2 Retain contributory **built form**.
- 3 Alterations and additions envelope.
- 4 Ground floor height to complement **original** building floor / ceiling height.
- 5 Additions to be visually distinguishable from the **original fabric**.
- 6 Line of existing skillion roofed portion demolished to make way for new addition.
- 7 **Mature trees** are retained.

Design Guidance

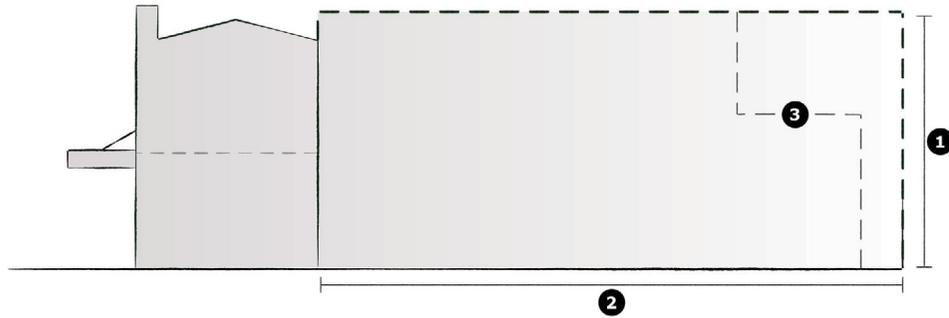
DG8.3.2 RESIDENTIAL TYPOLOGY

- a. Additions are located behind the **primary building** to areas not visible from the primary street.
- b. Additions may take the form of rear wings or linked pavilions (refer to Figure 12).
- c. Additions visible from the secondary street shall appear as single storey.
- d. Additions may be integrated by matching roof lines, under an extended skillion roof, or within the existing building roof form where appropriate to the form of the **Contributory Place**.
- e. New additions are constructed using traditional materials, appropriate to the materiality of the **Contributory Place** and prevailing character of its Character Statement. Unpainted, red face brick with some render detailing or timber framed extensions are most commonly suitable.
- f. Doors and windows in new additions are of similar size, shape, orientation and detailing to the **Contributory Place** where they can be seen from the streetscape.
- g. Ancillary built form including new sheds and outbuildings will be located to the rear of the lot. They will be comparatively small in scale and not be visible to the street. Where they are visible from the street they are to be built of traditional materials.
- h. Additions should be designed to ensure mature trees are retained.

DG8.3.3 NON-RESIDENTIAL TYPOLOGY

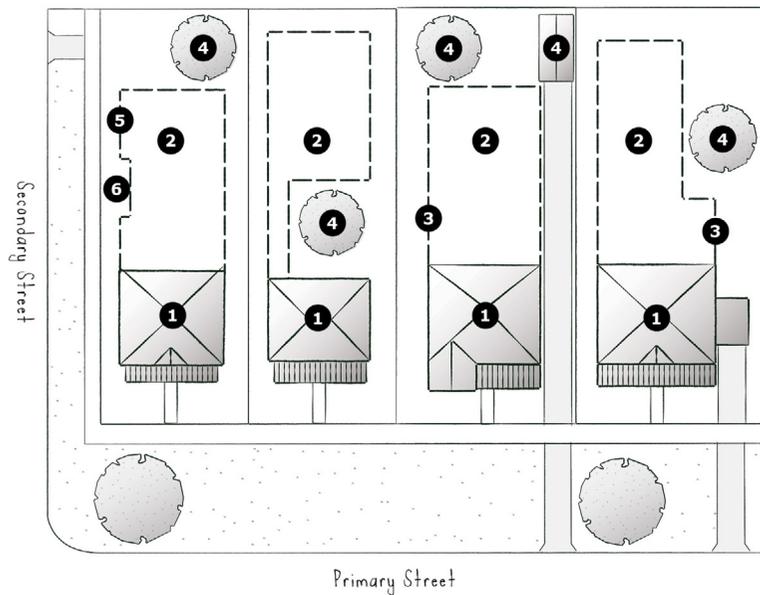
- a. Additions to existing buildings are in keeping with the scale and context of the surrounding **development** and are up to two storeys in height, to a maximum roof height of 9 metres.
- b. New additions are built using traditional materials. New walls are predominantly unpainted red face brick to side and rear elevations with a prevalence of render detailing to the street facing elevation if appropriate based on the surrounding contributory context.
- c. Where new additions abut residential lots to rear boundary they stepdown in height to single storey or have a substantive setback.
- d. Ancillary built form including new sheds and outbuildings will be distinctly separate from the primary building and will be built of traditional materials that blend into the surrounding contributory context.

Figure 10. Alterations and Additions – Residential Typology



- ❶ Additions to existing buildings are in keeping with the scale and context of the surrounding development and are up to two storeys in height, to a maximum roof height of 9 metres.
- ❷ Footprint of new addition.
- ❸ Where new development is located on a lot that abuts residential typology area, it will step down to single storey or have a substantive set back.

Figure 11. Alterations and Additions – Non Residential Typology



- ❶ Retain contributory building under the primary roof form.
- ❷ Additions may take the form of rear wings or linked pavilions.
- ❸ Facades do not extend forward or laterally from the contributory building envelope.
- ❹ Retain mature trees in backyard and secondary structures which relate to the context of the contributory building.
- ❺ Visibility of new additions from secondary streets should appear as single storey.
- ❻ Large expanses of wall visible from the street are broken up into bays with fragmented roof forms to reduce perceived scale.

Figure 12. Alterations and Additions – Siting of residential

8.4 New Built Form

INTENT: New buildings have the capacity to contribute to the streetscape and to complement the historic built environment. New buildings in the Guildford Heritage Area shall respect their historic context, and respond to the context of their Character Statement in scale, form, siting, materiality and colours.

8.4.1 Siting

INTENT: A critical factor that influences character is the siting of a new building in relation to lot boundaries, particularly street and side lot boundaries. Maintain the **predominant setbacks** in the street to reinforce its character.

Performance Criteria	Measures
C8.4.1.1 Residential typology streets have varied setbacks in the Guildford Heritage Area. New development is guided by the predominant street and side setback.	M8.4.1.1 Buildings, front doors and pedestrian access shall be orientated to face the primary street.
C8.4.1.2 Contributory Place built form is generally set parallel to the street, and oriented to the primary street frontage. New buildings are oriented in the same manner as the existing within their relevant streetscape, and set back in accordance with the existing streetscape.	M8.4.1.2 Development in a residential typology area shall respect the predominant setback of the Contributory Places on either side of the subject place and overall alignment of the streetscape. New development shall not protrude into the front setback area and is not to be built up to side boundaries.
C8.4.1.3 New Non-residential typology buildings take design influence from the traditional commercial buildings nearby which generally have nil street and side setbacks.	M8.4.1.3 Development in a non-residential typology area will have a nil street setback to the primary street frontage and to side boundaries. Where development is located on a corner it must address both street frontages to be consistent with other Contributory Places in the streetscape.
	M8.4.1.4 Transportable buildings, shipping containers or other non-traditional buildings are not to be located within the Guildford Heritage Area.

Design Guidance

DG8.4.1.1 GENERAL

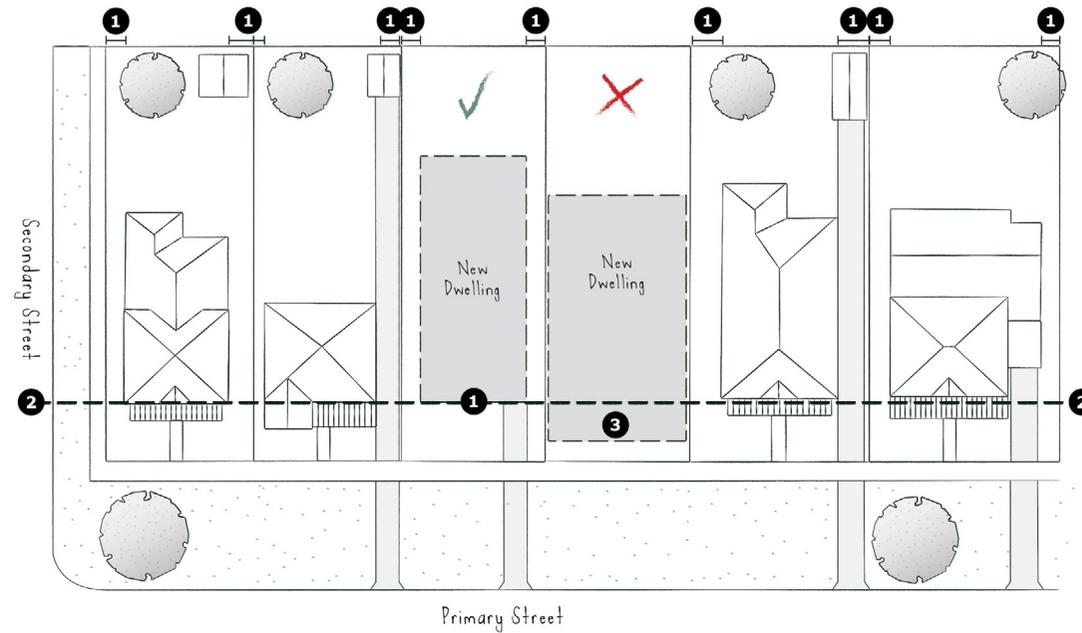
- Refer to the Character Statement relevant to a specific subject place for an understanding of the prevailing character and the appropriate siting to be used in informing the design of new built form.
- The siting of new built form matches the prevailing setbacks of **Contributory Places** in the streetscape. This includes both primary street setback and side boundary setbacks.

DG8.4.1.2 RESIDENTIAL TYPOLOGY AREAS

- Residential and non-residential infill **development** in residential areas matches the prevailing setbacks in the streetscape.
- Side setbacks match those of adjacent buildings.

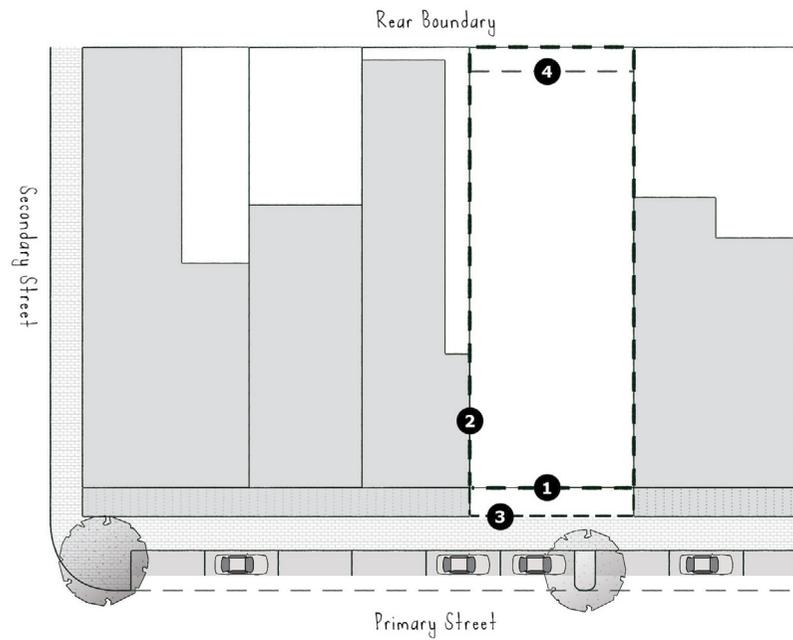
DG8.4.1.3 NON-RESIDENTIAL TYPOLOGY AREAS

- Buildings are located parallel to the street and built up to the front boundary of the lot.
- Where nil side setbacks are the prevailing pattern in the street, this is maintained in any new **development**.
- Where new **development** sites are located on lots which do not currently conform with the traditional lot pattern, new **development** shall reinforce the traditional streetscape character.
- Where new **development** is located on a lot that abuts **residential typology** area, it will step down to single storey or have a substantive set back.



- 1 The siting of new residential infill development matches the prevailing setbacks in the streetscape. This includes both primary street setback and side boundary setbacks.
- 2 Primary building line.
- 3 New development does not protrude into the front setback area.

Figure 13. Siting for new built form - Residential Typology



- 1 Buildings are located parallel to the street and built up to the front boundary of the lot.
- 2 Where nil side setbacks are the prevailing pattern in the street, this is maintained in any new development.
- 3 New development is to incorporate an over-pavement awning for the full width of the building. Awnings are located at first floor height in line with any existing awnings on adjacent developments.
- 4 Where new development is located on a lot that abuts residential typology area, it will step down to single storey or have a substantive set back.

Figure 14. Siting for new built form – Non Residential Typology

8.4.2 Scale and Form

INTENT: The scale of a new building is its size in relation to its context, either to an existing building, existing neighbouring buildings, streetscape, or a combination of these. New **development** proposals look as if they belong to the existing built form of the area in terms of scale. Scale is a prime determinant of an area’s character. If scale is not correctly determined, there is little prospect of ameliorating the negative impact of a new **development**.

The form of the building is its overall shape and volume, and the general arrangement of its major elements including proportions, materials, number of openings, and ratio of window to wall. Traditionally, buildings in the Guildford Heritage Area are simple and rectangular with steeply pitched roofs. New buildings and additions in Guildford Heritage Area are sympathetic to the predominant form of **Contributory Places** in the surrounding context. Where building form is highly repetitive, such as in the lower scale streets of the Guildford Heritage Area, variations in form appear discordant. New buildings need to respect rather than interrupt these streetscapes and the existing cohesiveness of form.

Performance Criteria	Measures
<p>C8.4.2.1 Development respects the predominant scale (height, bulk, density and pattern of arrangement) that is characteristic of Guildford Heritage Area and does not have an adverse visual impact on it.</p> <p>C8.4.2.2 New development proposals consider and respond to the key views and vistas within Guildford Heritage Area (refer to Map 5). New built form is lower in height than surrounding historic landmarks e.g. Guildford Hotel belvedere and the tower of the Guildford Post Office.</p> <p>C8.4.2.3 New buildings are not direct copies of heritage built form and are visually distinguishable from them while being respectful of their heritage context. New design is distinguishable from Contributory Places to ensure that the authenticity of Contributory Places is not diminished by replication. Distinction may be subtle or obvious, while still reflecting the predominant scale, patterns and proportions of surrounding Contributory Places.</p> <p>C8.4.2.4 New buildings reinforce existing spatial and visual characteristics of the streetscape in which they are located. Development on larger lots is designed to respect the traditional urban grain and rhythm of the streetscape character of the area including breaking up large frontages vertically, so they read as separate buildings.</p> <p>C8.4.2.5 At the discretion of the City, additional height may be permitted where it does not contradict the provisions of this policy and/or have a negative impact on the significance of the Heritage Area. Such scenarios are likely to be very rare and require specific site controls to be approved prior to development approval.</p>	<p>RESIDENTIAL TYPOLOGY</p> <p>M8.4.2.1 Two storey buildings are only to be supported in streetscapes with an identified prevailing contributory two storey character and where it is demonstrated that building bulk, form and scale are appropriate to the immediate context.</p> <p>M8.4.2.2 Single storey plate heights (measured from the base of the external wall to the plate) are to be a minimum of 3 metres and a maximum of 4.2 metres.</p> <p>M8.4.2.3 Double storey plate heights (measured from the base of the external wall to the plate) are to be a minimum of 5 metres and maximum of 6.3 metres.</p> <p>M8.4.2.4 Large dwellings are to be reduced in scale by breaking up long walls into bays, by the arrangement of openings, fragmenting roof forms, or setting back upper levels, as appropriate.</p> <p>NON-RESIDENTIAL TYPOLOGY</p> <p>M8.4.2.5 Buildings shall be up to two storeys in height at the primary street frontage, to a maximum roof height of 9 metres, with the development to be in scale with its neighbouring context, unless the development is sited amongst single-storey residential typology built form in which case the upper storey must be concealed or setback behind the building footprint of the residential typology built form. Where additional height is proposed it shall be set back from the street frontage by a minimum of 5 metres, be visually recessive and not result in overlooking of adjacent single storey residential buildings.</p> <p>M8.4.2.6 Development on large lots is to be broken down to reflect the width of Contributory Place facades in the streetscape in which the subject place is located. (Refer to figure 16).</p> <p>M8.4.2.7 Detailing and external features are to be consistent with the contemporary style of a building’s period of construction and not seek to copy a historical style.</p>

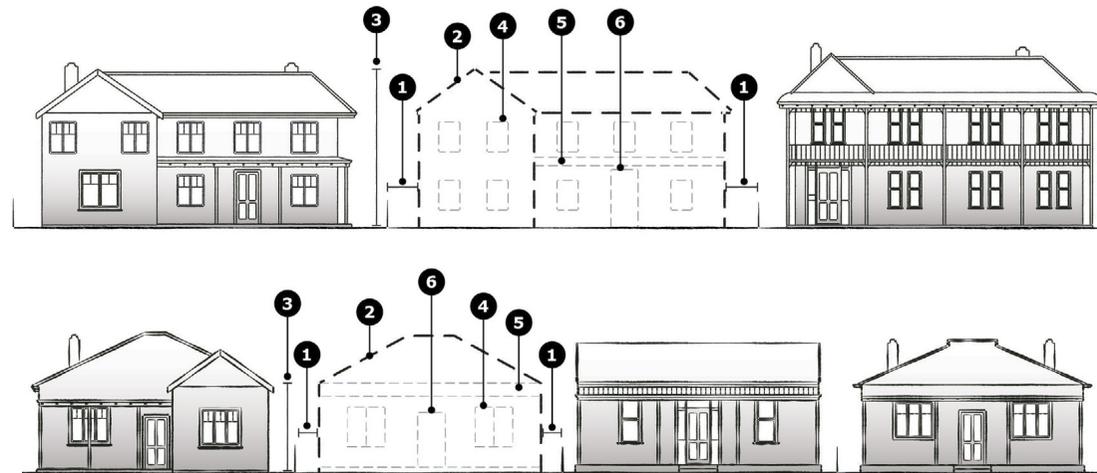
Design Guidance

DG8.4.2.1 GENERAL

- a. Refer to the Character Statement relevant to a specific subject place for an understanding of the prevailing contributory character and the appropriate scale and form to inform new design.
- b. New buildings, and additions to existing buildings, respond to and reinforce existing **Contributory Place** characteristics including plate/wall heights, ridge lines, parapet lines and roof slopes. Roof slopes are generally 30-35 degrees. A minimum of 25 degrees may be acceptable only where it is reflective of the prevailing contributory street character.
- c. The impact of large buildings is reduced by breaking up long walls into bays, arranging openings to reflect the pattern of adjacent **Contributory Places** and fragmenting roof forms to reduce bulk.
- d. Street facing building facades are well articulated and detailed. Buildings with blank facades facing the street are not appropriate.

DG8.4.2.2 RESIDENTIAL TYPOLOGY

- a. New **development** appears as single storey when viewed from the street. **Plate heights** (measured from the base of the external wall to the plate) are a minimum of 3 metres and a maximum of 4.2 metres.
- b. Two storey buildings (those with a **plate height** exceeding 4.2 metres) are permissible only in those Character Statement contexts where two storey dwellings form the prevailing character in the streetscape. The contextual appropriateness of a two storey dwelling will be assessed in the applicant's Heritage Impact Statement.
- c. Windows and openings have a vertical emphasis.
- d. Street facing facades are generally symmetrical with doors centrally located.



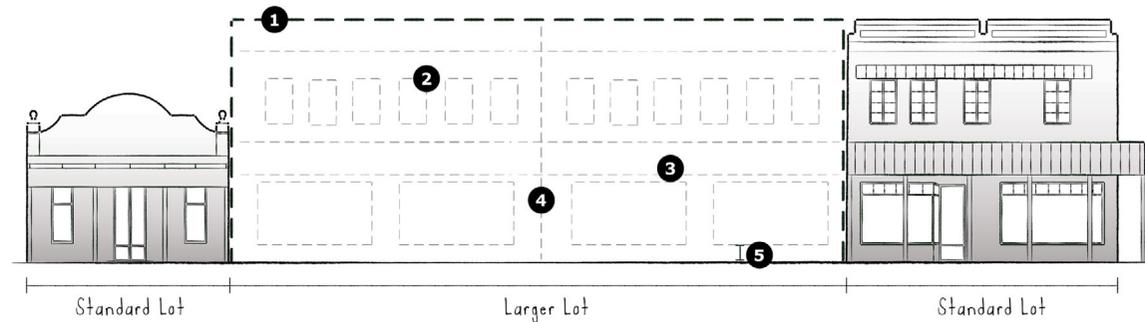
- 1 Side setbacks match the prevailing setbacks in the streetscape.
- 2 Roof form to be pitched and/or hipped between 30-35 degrees.
- 3 New development should match the height of neighbouring contributory buildings when viewed from the street. Plate heights should be as follows:
 - For single storey dwellings, plate heights are a minimum of 3 metres and a maximum of 4.2 metres.
 - For double storey dwellings, plate heights are a minimum of 5 metres and a maximum of 6.3 metres.
- 4 Windows and openings have a vertical emphasis.
- 5 New verandas should match the height of neighbouring contributory buildings.
- 6 Street facing facades are generally symmetrical with doors centrally located.

Figure 15. New built form - Residential Typology

Design Guidance

DG8.4.2.3 NON-RESIDENTIAL TYPOLOGY

- a. The traditional pattern and rhythm of **development** consisting of horizontal strips of **development**, broken into a vertical rhythm by the compartmentation of shops and arrangement of windows to individual shops, is maintained. Large frontages appear as modules that are in keeping with the rhythm of adjacent contributory shopfronts to provide the effect of a small frontage character.
- b. New buildings are designed to align with existing lines of over footpath awnings, canopies, parapet tops, window heads and sills wherever possible.
- c. Buildings without parapets have a minimum **plate height** of 3 metres. Where buildings have a parapet on the street facade, the parapets are a minimum of 4.5 metres above the ground level.
- d. New **development** is designed with an articulated front parapet wall to the primary street. A pitched roof is an acceptable alternative if it does not protrude above the prevailing parapet line of the street.
- e. **Development** on corner sites addresses both street frontages. Two storey developments are encouraged. Both street facing building facades are well articulated and detailed in keeping with existing contributory two storey **non-residential typology** buildings.
- f. Shop front window sills are located in the range of 450mm to 600mm above the footpath level.
- g. The floor levels of new **development** align with existing levels in the streetscape and allow direct and level access from public footpaths.
- h. New **development** incorporates an over-pavement awning for the full width of the building to provide effective weather protection for pedestrians. Awnings are located at first floor height and not at any level above, are in line with any existing awnings on adjacent developments and are simple in design.



- 1 Maximum two storey height limit to street frontage.
- 2 Maintain traditional pattern and rhythm of development consisting of horizontal strips of development, broken into vertical rhythm by the compartmentation of shops and arrangement of windows. i.e. windows, awning, parapet height should match those of adjacent buildings of similar scale.
- 3 New development incorporates an over-pavement awning for the full width of the building. Awnings are located at first floor height and not at any level above, are in line with any existing awnings on adjacent developments and are simple in design.
- 4 Street facing building facades are well articulated and detailed in keeping with existing contributory two story non-residential typology buildings.
- 5 Shop front window sills are located in the range of 450mm to 600mm above the footpath level.

Figure 16. New built form - Non Residential Typology

8.4.3 Materials and Colours

INTENT: Guildford Heritage Area has a palette of materials related to the historic phases of **development** of the town. These materials, their textures, colours and decorative treatments are important elements of character and cultural significance of the Heritage Area to inform the palette used on new developments.

Traditional colour schemes in Guildford Heritage Area often featured several colours in combination. Rendered walls were left unpainted or were lime washed with natural tones of cream or stone. Window and door frames were combinations of dark and light colours (e.g. red and cream or Brunswick green and beige). Colours of new buildings are to reflect historical colour schemes and not be visually obtrusive within their surrounding character streetscapes.

Performance Criteria	Measures
<p>C8.4.3.1 New development references the materiality of surrounding Contributory Places. Traditional materials are utilised in a contemporary design outcome which respects the surrounding original building qualities, proportions and distinctions of scale and is harmonious with its surrounding streetscape character.</p> <p>C8.4.3.2 The colour palette of new developments are complimentary to the muted colours and tonal differences which are historically prevalent within the relevant Character Statement context.</p> <p>C8.4.3.3 Materials and colours of additions match or are complimentary to those used on the associated Contributory Place.</p>	<p>M8.4.3.1 Materials are to be selected with reference to the prevailing contributory character of the relevant Character Statement. Acceptable materials for new buildings in Guildford Heritage Area include the following:</p> <ol style="list-style-type: none"> Terracotta ‘Marseilles’ tiles, slate, Zinalume or galvanised iron roof cladding. Pre-finished steel (e.g. Colorbond) is also acceptable with muted, traditional colours (e.g. manor red). Non-uniformly fired red clay brick walls with a traditional brickwork bond and cream toned mortar. Smooth render detailing. Timber framing and weatherboards. Where contemporary materials are proposed they shall maintain the proportions, textures and details of the surrounding Contributory Places and be sympathetic to their surrounding character context. <p>M8.4.3.2 Any external painting works shall be:</p> <ol style="list-style-type: none"> Muted in colour, and applied predominantly to external timber elements. In keeping with the surrounding Contributory Places and the character of their relevant Character Statement. Utilise colour schemes typical of the Contributory Place period. <p>M8.4.3.3 The following works will not be supported:</p> <ol style="list-style-type: none"> Bright or modern colour schemes which detract from the character of the Guildford Heritage Area. Painting of buildings in corporate colours, designs or patterns. Limestone, tilt up concrete, glass walling, polished concrete in landscaping and large expanses of metal cladding.

Design Guidance

DG8.4.3.1 General

- a. Refer to the Character Statement relevant to a specific subject place for an understanding of the prevailing character and the appropriate materiality and colour to inform new design.
- b. New buildings are constructed of traditional materials.
- c. Design solutions balance sustainability outcomes with a respect for the prevailing streetscape character. This may include the recycling of materials.

DG8.4.3.2 Roofs

- a. Roof cladding finishes are terracotta 'Marseilles' tiles, slate, Zinalume or galvanised iron roof cladding. Pre-finished steel (e.g. Colorbond) is also acceptable with muted traditional colours to match streetscape character (e.g. dark reds and light grey).
- b. Slate and shingles are not typical in the Heritage Area but can be considered when restoration is based on archival evidence or for minor extensions and additions.

DG8.4.3.3 Walls

- a. Brickwork – brickwork is red clay brick of a non-uniform firing that closely matches historical brickwork and traditional bond patterns found on **Contributory Places** within the same street.
- b. Render - render is used as ornamentation only and not as the predominant finish. Render detailing can be painted.
- c. Weatherboards – painted hardwood horizontal weatherboards, to match the type of timber, width of boards and lapping of the **Contributory Places** in the Heritage Area. Contemporary plastics and composite boards are not an acceptable alternative.

DG8.4.3.4 Verandahs

- a. Generally – verandahs are only included within a new design where they are prevalent within the surrounding streetscape.
- b. Verandah roofs are clad in roof material to match the primary building. Skillion, concave or bullnose roofs are clad in corrugated iron.
- c. Posts/ balustrades – verandah posts and balusters are always timber. New verandah posts are of a simple, square profile design.
- d. Decking is of a timber finish.

Design Guidance

DG8.4.3.5 Windows and Doors

- a. Windows and doors in new buildings are not direct copies of those in **Contributory Places**. Traditional details can be adapted to harmonise new built form within the traditional streetscape, such as including arches of vertical brickwork over a window opening.

DG8.4.3.6 Ornamentation

- a. Ornamentation of new buildings does not mimic an historic style or period.

DG8.4.3.7 Shopfronts

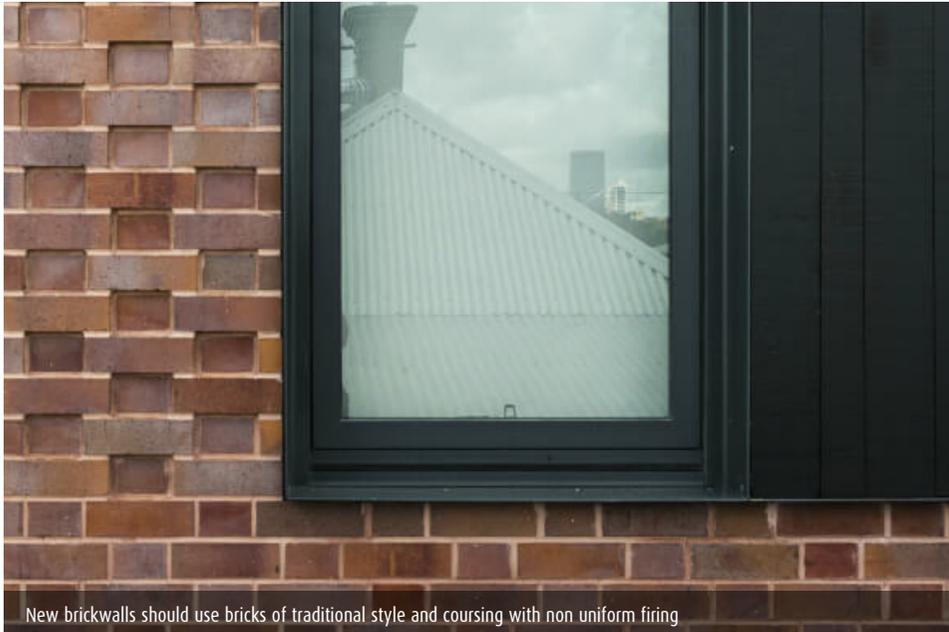
- b. New windows are not tinted, reflective, painted out or significantly obscured by signage.
- c. New shop fronts do not have glazing that runs to the pavement. A stall riser with a height of 450-600mm forms the base of any new shopfront arrangement.
- d. Tessellated tiles with contemporary patterning can be utilised for commercial building re-entrant doorways (recessed entries).

DG8.4.3.8 Awnings over shops

- e. Roofs – shopfront awnings roofs reflect the age and style of the adjacent **Contributory Places**. Skillion, concave or bullnose roofs are clad in corrugated iron.
- f. Posts/ balustrades – posts are simple square timber elements.

DG8.4.3.9 Paving and Ground Treatments

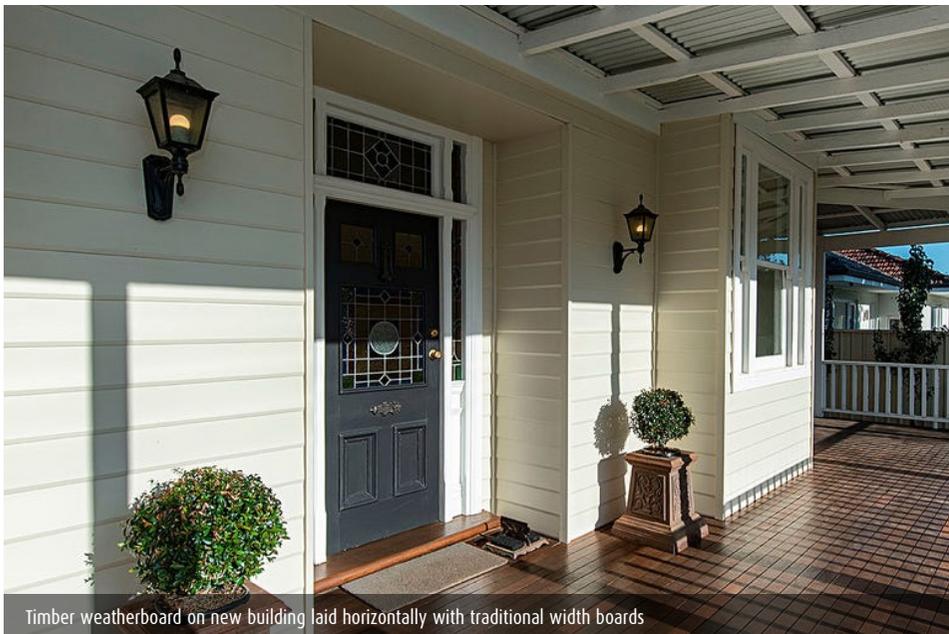
- g. Footpaths in gravel and brick paving are utilised for contributory residential properties. Brick and concrete paving can be considered for new houses.
- h. Driveways and crossovers are constructed from orange/red gravel, stabilised clay, red brick paving, brown or red asphalt or brown granolithic concrete.



New brickwalls should use bricks of traditional style and coursing with non uniform firing



Restored verandah on heritage property



Timber weatherboard on new building laid horizontally with traditional width boards



Traditional verandah on new residential typology

Figure 17. Walls

Figure 18. Verandahs



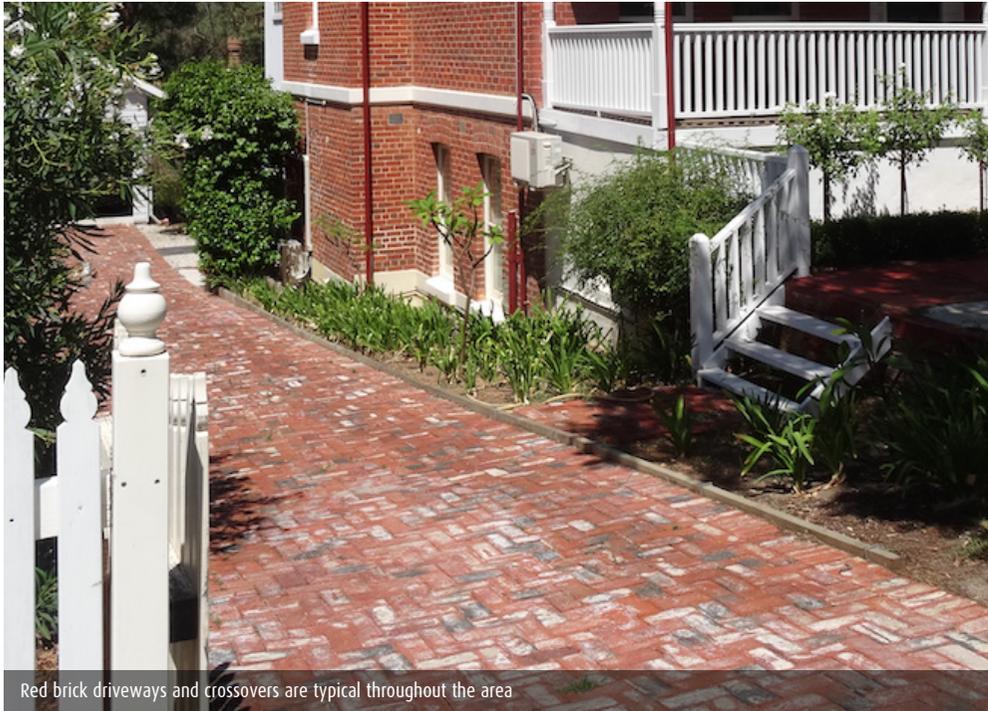
Figure 19. Windows and Doors



Figure 20. Shopfronts



Figure 21. Awnings over shops



Red brick driveways and crossovers are typical throughout the area



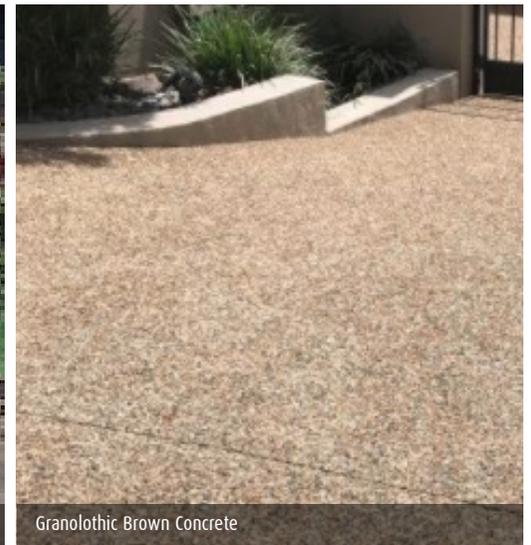
Pea Gravel Driveway



Stabilised gravel



Standard dark bitumen is traditional to Guildford



Granolithic Brown Concrete

Figure 22. Paving and ground treatments

8.5 Gardens and Landscape

INTENT: The landscape character of the Guildford Heritage Area plays an important role in its significance. The riverine environment which surrounds the Heritage Area, mature tree lined vistas and remnants of traditional gardens are as important to the character and atmosphere of the Heritage Area as the **Contributory Places**. The Guildford Heritage Area is characterised by these natural elements and it is important that they be conserved, along with new gardens and landscaping being designed to integrate with them.

Performance Criteria	Measures
<p>C8.5.1 The natural topography of Guildford Heritage Area’s riverine environment is protected. New development works with the natural site levels and does not seek to undertake significant excavation or filling of a site that alters those natural site levels.</p> <p>C8.5.2 Mature street trees provide a significant contribution to key vistas and the character of the public realm. Street trees are maintained and protected, or replaced with an equivalent mature planting when they reach the end of their lifespan.</p> <p>C8.5.3 Green canopies in backyards are protected and retained. If a tree dies or is required to be relocated, another mature tree of equivalent or appropriate advanced stock is added to the place to ensure the retention of backyard green canopies.</p> <p>C8.5.4 Private front gardens contribute to the character of the streetscape. Private owners are encouraged to maintain their front gardens and retain plantings which are typical to the area to provide a well-kept green setting for the Contributory Places.</p>	<p>M8.5.1 Mature trees in the public and private realm are to be retained and integrated into the design of new development, alterations and additions.</p> <p>M8.5.2 Removal of mature trees requires development approval and applications must be supported by a qualified arborist report explaining that the tree is at the end of its lifespan and is either dead, diseased or dangerous.</p> <p>M8.5.3 Private gardens within Contributory Places are to be retained where they contribute to the streetscape and shall be restored in accordance with the Design Guidance.</p> <p>M8.5.4 Green canopies in backyards are to be retained with a presumption against the removal of large mature trees.</p> <p>M8.5.5 Where significant trees in the public realm have died or been removed, they are to be replaced with equivalent or appropriate advanced stock of the same species.</p> <p>M8.5.6 Earthworks are to be minimised so as to protect the traditional landscape and setting of Guildford Heritage Area.</p> <p>M8.5.7 Structural development and landfill within the floodplain will generally not be supported and will be subject to support from the Swan River Trust, the Department of Water and Environmental Regulation (DWER) and the Department of Biodiversity, Conservation and Attractions (DBCA) as applicable.</p> <p>Such development may still be refused by the City if it is inconsistent with the requirements of this policy.</p>

Design Guidance

DG8.5.1 General

- a. Refer to the Character Statement relevant to a specific subject place for an understanding of the prevailing character including street and landscape elements, and plantings of significance to inform new design.

DG8.5.2 Private Gardens

- a. Traditional tree plantings include olive, jacaranda, flooded gum, fruit trees, and flame trees in larger gardens, and in small gardens fruit trees including mulberry, almond and citrus, together with crepe myrtle.
- b. Are of a simple format with balanced layout of garden beds, soft and hard landscaping, and less formality of planting.
- c. Often include a straight path from the gate to the front door, preferably centrally placed. Alternatively, the path may follow the side boundary and cut across at right angles to the front door
- d. For larger gardens designs can include a circular path or driveway with a central feature such as a specimen tree, flower bed or fountain.
- e. Symmetrical garden layouts are provided to match a symmetrical house façade.
- f. Lawn (or ground cover) areas are the primary feature, with garden beds forming a smaller portion of the design. However, waterwise, sustainable and indigenous plantings in garden beds are not discouraged.
- g. Lawns (or ground covers) are planted with specimen trees (deciduous trees, conifers, fruit trees or eucalypts).
- h. Planting is designed to create variety and year-round interest.

DG8.5.3 Public Plantings

- a. Endemic plant species are used in the floodplain.
- b. Traditional tree plantings are utilised to reflect the prevailing street character. **Mature trees** are replaced like for like upon the death of a mature significant specimen.



Gardens with low fences, lawns, central paths and trees are typical



Mature private gardens contribute greatly to the Residential Typology Areas

Figure 23. Private Gardens



Large mature Flooded Gums are synonymous with Guildford Avenues and public spaces



The Riverine environment around Guildford contains endemic species

Figure 24. Public Plantings

8.6 Public Realm

INTENT: The public realm includes publicly owned land, public open spaces, verges, footpaths, streets, laneways, car parks and all publicly accessible areas including the fixtures and furniture that belong within them including bins, lighting, signage and street furniture. The traditional layouts, proportions and hierarchy of these spaces contribute to the historic and aesthetic character of Guildford Heritage Area. Elements within the public realm are well designed and contribute to the overall character of the place rather than detracting from or obscuring an understanding of its significance.

Performance Criteria	Measures
<p>C8.6.1 The original street layout reflects Guildford Heritage Area’s original town plan and the early subdivision pattern. These are significant elements which define the appearance of the built environment and are to be retained in their existing pattern.</p> <p>C8.6.2 Public open spaces which date from the original town plan are retained, conserved and made accessible for public use. If in private ownership seek to provide for controlled community access.</p> <p>C8.6.3 The undeveloped riverine floodplain allows Guildford Heritage Area’s rural setting to be conserved. Riverside areas remain undeveloped with access provided to the rivers.</p> <p>C8.6.4 The proportions of streets, verges and footpaths are maintained, consistent with their traditional arrangement and reflective of their street character and hierarchy.</p> <p>C8.6.5 External lighting is designed to be in keeping with the character of the street, to light the building effectively without drawing undue attention to it, and to provide an effective level of public amenity along the footpath.</p> <p>C8.6.6 Street furniture is well considered as part of an overall approach for the Heritage Area. Street furniture elements are coherent and understated in their design to ensure they do not detract from the appreciation of the picturesque characteristics of Guildford Heritage Area.</p>	<p>M8.6.1 Stirling Square is to remain accessible to all pedestrians.</p> <p>M8.6.2 Riverine floodplain land shall be undeveloped with access to the rivers maintained on crown land.</p> <p>M8.6.3 Street widths, verges, crossovers and footpaths are to remain consistent with their traditional proportions.</p> <p>M8.6.4 External lighting is to be in keeping with the existing hierarchy of street lighting in the Guildford Heritage Area.</p> <p>M8.6.5 External lighting shall provide the required level of public amenity whilst being respectful of the Guildford Heritage Area.</p> <p>M8.6.6 Street furniture (including public art) is to be located where it does not detract from or obscure the appreciation of significant views and vistas (refer to map 4), of contributory heritage places or their associated streetscape.</p> <p>M8.6.7 Structural development and landfill within the floodplain will generally not be supported and will be subject to support from the Swan River Trust, the Department of Water and Environmental Regulation (DWER) and the Department of Biodiversity, Conservation and Attractions (DBCA) as applicable.</p> <p>Note: All private proposals for changes to the verge will require approval by the City.</p>

Design Guidance

DG8.6.1 General

- a. Refer to the Character Statement for an understanding of the prevailing character including street hierarchies and significant elements within the streetscape.

DG8.6.2 Street lighting, feature lighting

- a. New street lighting is of a scale and design to respect the context in which its located. Taller light poles are more appropriate along James Street and major vehicular routes, while the scale of lighting in minor streets is reflective of their road hierarchy.
- b. The materiality and colour palette of street lighting is compatible with the historic character of Guildford. It is of a high quality to ensure longevity and will allow a patina to develop similar to existing contributory elements, e.g. cast iron.
- c. Feature lighting is employed sparingly and only to activate specific landmarks or activity nodes within the public realm such as landmark buildings, parks or squares.

DG8.6.3 Street Furniture

- a. The design of street furniture (benches, bins and wayfinding) is of a cohesive design language and palette of materials.
- b. The materiality and colour palette of street furniture is compatible with the historic character of Guildford and is of a high quality to ensure longevity. Iron, timber or steel are suitable materials.
- c. Street furniture is located in a manner that is not intrusive and does not clutter the public realm or significant views and vistas.

DG8.6.4 Security Cameras

- a. Security cameras are discreetly located with minimal intrusion into the streetscape.
- b. Security cameras do not intrude on significant views and vistas.
- c. Security cameras are not fixed to heritage listed places or placed in a manner which detracts from their immediate setting unless there is a demonstrably unavoidable public need.

DG8.6.5 Paving Treatments

- a. The palette of paving materials used is minimal and cohesive to ensure that there is a high degree of visual harmony within the streetscape.
- b. Footpaths and paved areas in commercial projects are brick paved or paved in red asphalt with a laterite aggregate.

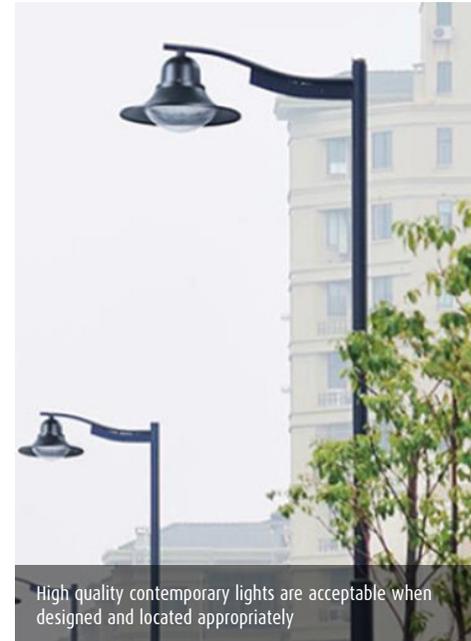


Figure 25. Street Lighting

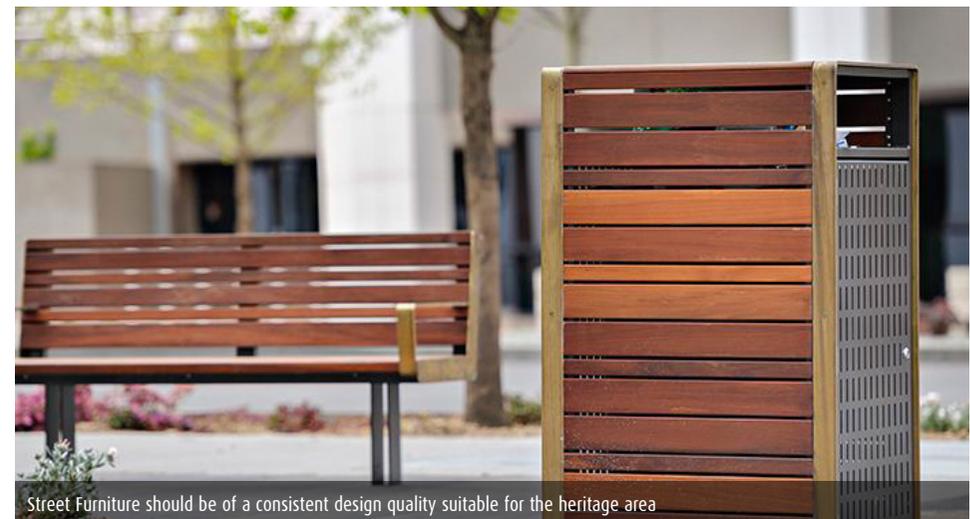


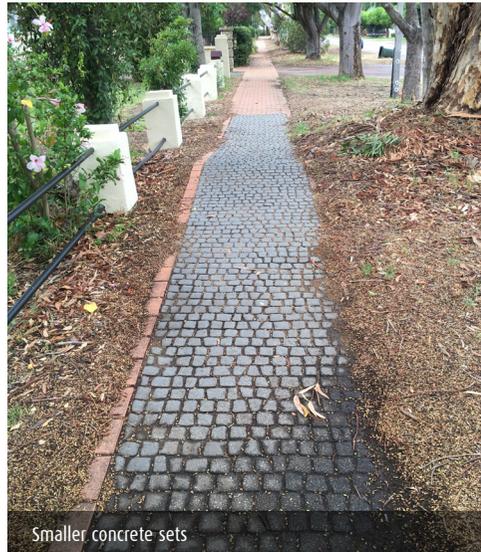
Figure 26. Street Furniture



Red asphalt roads and paving



Red brick paving



Smaller concrete sets

Figure 27. Paving Treatments

8.7 Fences and Boundaries

INTENT: The treatment of front/street setback areas has a significant impact on the streetscape. Retaining uniformity in the scale and proportions of front fences and gates and walls will allow visual transparency between the **Contributory Places** and the streetscape which is critical in maintaining the character of Guildford Heritage Area.

Performance Criteria	Measures
C8.7.1 Fences and gates within the front setback area enhance the character of the streetscape and do not have a discordant visual impact.	M8.7.1 Traditional fences are to be retained and where missing or damaged be restored based on archival evidence and the predominant boundary treatment pattern of the character area.
C8.7.2 Boundary elements allow buildings and gardens to contribute to the streetscape. Fences and gates do not obstruct views to buildings and gardens and are visually permeable.	M8.7.2 Fence heights are to be in keeping with the predominant pattern along the streetscape. In residential typology areas they shall not exceed 1200mm in height to the primary street and 1800 mm to other streets. Refer to figure 28 for detail of how this is to be applied.
C8.7.3 Fencing within the front setback area is an appropriate style and form to match the period of development of the building(s) to which it is associated.	M8.7.3 Finishes, materiality and construction of fences shall be visually permeable within the streetscape and protect vehicular and cyclist sightlines. M8.7.4 Fence design shall be in keeping with the prevailing contributory onsite built form and streetscape context.

Design Guidance

DG8.7.1 Height of Fencing

- Primary street fencing does not exceed 1200mm to ensure visual permeability.
- Secondary street fencing may be up to 1800mm to offer privacy. (Refer to Figure 28).

DG8.7.2 Style of Fencing

- Fences and gates within the front/street setback area reflect the prevailing contributory character and streetscape in which its located (refer to map 3 and Part B). With reference to the relevant Character Statement, timber picket, iron picket and brick pier, timber post and vertical rail with chain mesh, may be appropriate.
- For properties with mature gardens to the street front, the retention of boundary hedges is an appropriate alternative to the introduction of new fencing.
- Solid metal panel fencing is inappropriate for any street fencing and will not be supported but can be supported for dividing fencing behind the front setback. See Figure 28.

DG8.7.3 Walls

- Brick walls of Flemish and English garden bond can be built up to a maximum of 1200mm to front boundary or 1800 for side and rear boundary. Refer to Figure 28 for details.
- Rendered brick elements are appropriate for Interwar era.
- Limestone is not traditional to Guildford and will not be supported.

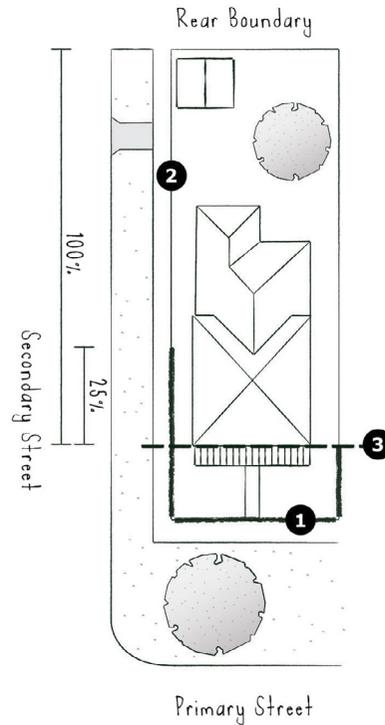


Figure 28. Fences and Boundaries

- Fence heights fronting the primary street in residential typology areas do not exceed 1200mm.
- Fence heights fronting the secondary street in residential typology areas do not exceed 1800mm.
- Primary street fencing measures are applicable to the secondary street for 25% of the length of the boundary behind the primary building line.

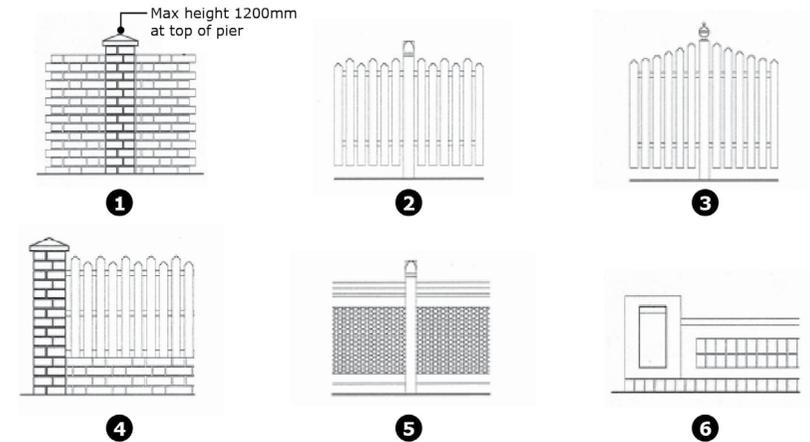


Figure 29. Styles of Fencing and Walls

- Flemish or English bond brick (used with earliest houses) for conserving older houses.
- A modern timber fence based on traditional details from the late 19th century for conserving older houses
- A simple timber picket fence for use with small cottages for new houses.
- A brick pier and picket combination for new houses only.
- A post and wire fence that was common from 1920s - 1950s for conserving older houses and for new houses.
- A low brick and rendered fence used for houses c.1920s - 1940s for conserving older houses.

8.8 Subdivision and Amalgamation

INTENT: Guildford Heritage Area’s street layout and subdivision pattern are an important part of its character and include the larger town lots, some of which were subdivided in the Gold Boom and Federation eras, and narrow riverfront ribbon allotments, most of which have remained in the **original** arrangement since 1829. Subdivision or amalgamation of lots has the potential to irreversibly alter the character of the Guildford Heritage Area. Subdivision is generally precluded by the prevailing R5 residential density coding across the Guildford Heritage Area and amalgamation of lots is discouraged.

Performance Criteria	Measures
C8.8.1 Original subdivision patterns underpin the rhythm and character of the town streetscapes and assist in understanding the nature of original development .	M8.8.1 Subdivision or amalgamation shall not remove or obscure the understanding of the street layout and arrangement of lots typical to the development of the Guildford Heritage Area town plan.
C8.8.2 Subdivisions reflect the orientation, size and configuration of the lots and street layout of the Guildford Heritage Area present in 1829 and were extended predominantly between 1882- 1900.	M8.8.2 Subdivision shall not sever the relationship between built form elements of a heritage place such as a house and its gardens.
C8.8.3 Subdivisions are designed to enable the protection and conservation of heritage places, including their built form, gardens and settings.	M8.8.3 New development due to subdivision or amalgamation shall not affect the setting and visual prominence of contributory places in the area.
C8.8.4 Amalgamation of sites is discouraged as it can destroy urban grain and rhythm, obscure the original subdivision patterns and result in unsympathetic development by allowing larger properties to be proposed which are not in keeping with the form and scale of the area.	M8.8.4 The rectangular grid street pattern aligned to cardinal points and long ribbon allotments are to be maintained with battle-axing discouraged.
C8.8.5 Amalgamation is only acceptable where it ensures that the rhythm and form of the proposed development is compatible with the characteristic form of the area and streetscape. Interpretation of original site configurations through design forms part of any proposal.	M8.8.5 Subdivision or amalgamation of lots shall not increase the number of crossovers for the original lot
	M8.8.6 Street trees are not to be removed to facilitate subdivision or amalgamation.
	M8.8.7 Car parking should be incorporated into any subdivision proposal. Garages and carports will not be supported in the front setback in battle-axe subdivisions.

Design Guidance

DG8.8.1

- a. Refer to the Character Statement for an understanding of the prevailing characteristics of lot divisions and street patterns for specific location.
- b. Any application for subdivision and/or amalgamation is accompanied by a Heritage Impact Statement which addresses any potential impacts that the subdivision may have on the Guildford Heritage Area's significance.

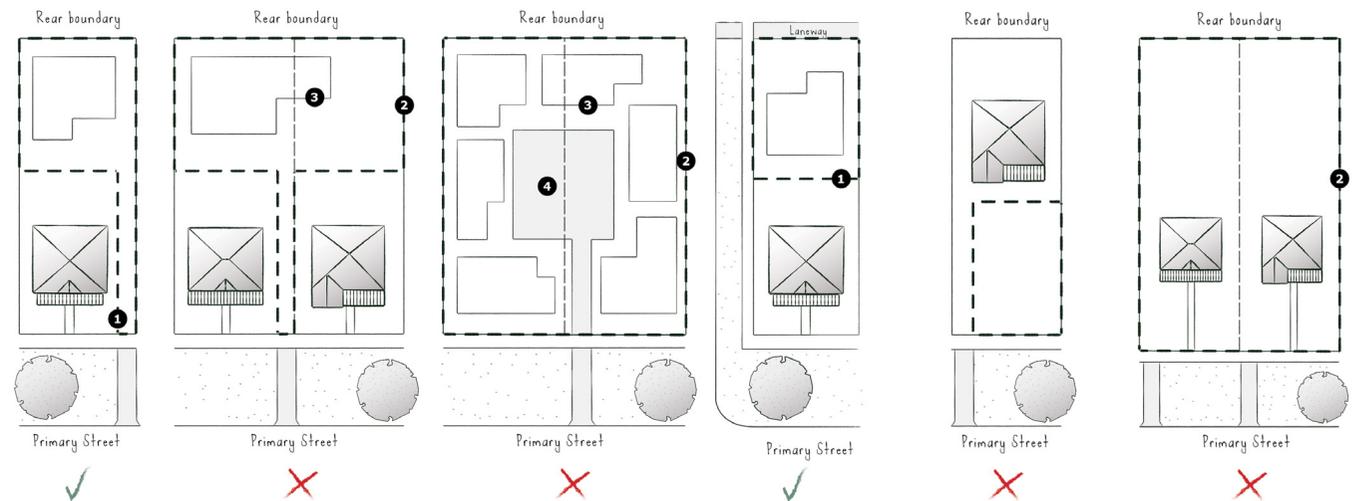
DG8.8.2 Subdivision

- a. Subdivision does not alter the understanding of Guildford's historic town plan, block and lot boundaries, roads or laneways.
- b. New lot boundaries within the town are parallel with or at right angles to the historic grid.
- c. The historic street grid town plan is retained. Curvilinear road systems and cul-de-sacs are not supported.
- d. New subdivision does not facilitate **development** which has the potential to block views from the town to the surrounding riverine environment or from the riverine surrounds back towards the town and on the traditional patterns and rhythms of the Character Statement context in which it is located.
- e. Subdivision of existing lots over 2000m² into three or more new lots is supplemented by a Local Development Plan or similar planning instrument to establish design guidance in keeping with this policy.
- f. Subdivision should not result in the creation of 'battleaxes' or adjacent groups of battleaxe driveways, the building of structures across historic property boundaries or otherwise be considered likely to encourage non-traditional forms.
- g. Where car parking was accommodated to the side or rear of the dwelling in the **original** lot, but cannot be due to a common driveway, this constitutes an alteration to the traditional streetscape as a result of subdivision.
- h. New boundary elements associated with subdivision of land do not negatively intrude on the streetscape

- i. Retains a single driveway with additional garaging and parking areas not visible from the street.
- j. Retain any mature plantings on the site.

DG8.8.3 Amalgamation

- a. Traditional lots are not amalgamated or consolidated across historic boundaries
- b. Construction on amalgamated lots does not occur across historic property boundaries and reinforces the traditional streetscape character.



- 1 New lot boundaries within the Heritage Area are parallel with or at right angles to the historic grid.
- 2 Traditional lots are not amalgamated or consolidated across historic boundaries.
- 3 Construction on amalgamated lots does not occur across historic property boundaries.
- 4 The historic street grid town plan is retained. Curvilinear road systems and cul-de-sacs are not supported.

Figure 30. Subdivision and Amalgamation

8.9 Parking and Vehicle Access

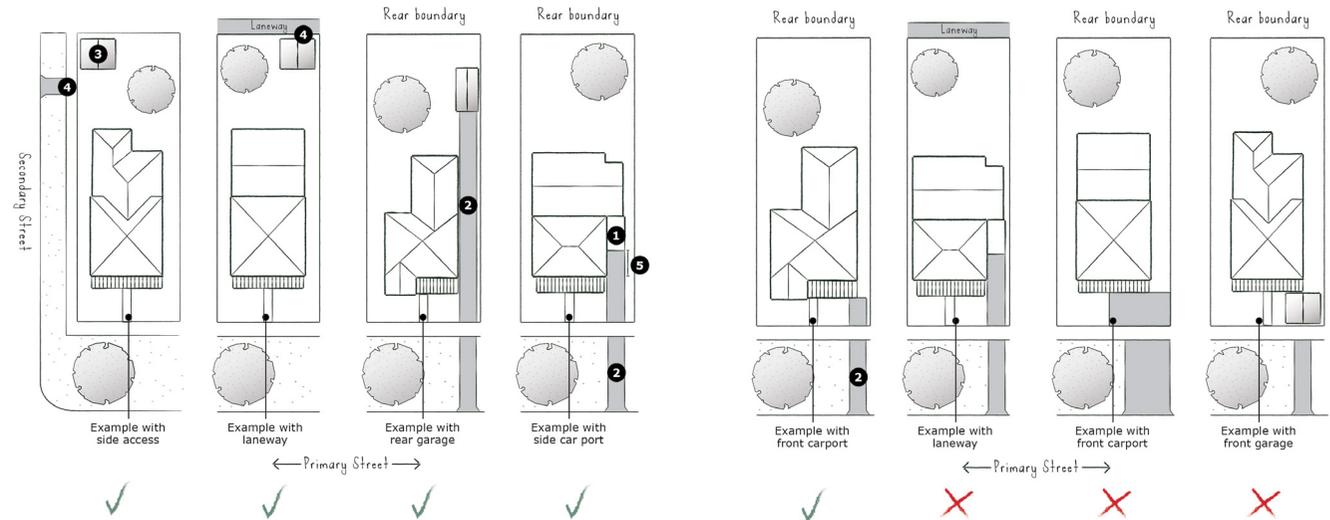
INTENT: Most of Guildford Heritage Area’s historic **development** was completed before the motor vehicle came into common usage. As a result, many developments were not designed to accommodate the parking and garaging of vehicles. The introduction of garages and carports can become a dominant and discordant feature in the streetscape and must be carefully sited and designed to avoid negative impacts.

Performance Criteria	Measures
C8.9.1 The proportion of the lot frontage and dwelling façade occupied or obscured by garages and carports is limited so as not to detract from the streetscape.	<p>RESIDENTIAL TYPOLOGY</p> <p>M8.9.1 Garages will not be permitted in the front setback.</p> <p>M8.9.2 Single carports may be considered within the front setback where they can not be accommodated to the side or rear of the dwelling, and meet M8.9.3.</p> <p>M8.9.3 The width of a garage door facing, and where visible from, the primary street shall not exceed 30% of the lot frontage or 6 metres (whichever is lesser).</p> <p>M8.9.4 Garages and carports are to be setback a minimum of 500mm from primary building line.</p> <p>M8.9.5 New garages and carports are to be designed to be in keeping with the character of the area in terms of their form, scale, design and materiality</p> <p>M8.9.6 Double width garages and carports will not be supported in the front setback area.</p> <p>M8.9.7 Double width crossovers will not be supported.</p> <p>NON-RESIDENTIAL TYPOLOGY</p> <p>M8.9.8 Car parking shall not be visible from the street and is to be located to the rear or concealed within the built form.</p> <p>M8.9.9 Varying standard car parking requirements is acceptable where it can be demonstrated that additional car parking will impact on the significance of the Guildford Heritage Area or an individual Contributory Place.</p>
C8.9.2 Garages and carports are set back so as not to detract from the streetscape or appearance of dwellings, or obstruct views of dwellings from the street and vice versa.	
C8.9.3 Where available, parking and access to garages and carports occurs from a side or rear approach rather than the primary building frontage.	
C8.9.4 Width of vehicle access kept to an absolute minimum.	

Design Guidance

DG8.9.1 Garages and Carports

- Where the side wall of a garage is proposed to face the street, it is designed and treated in a manner that it presents as an articulated and detailed façade to the street such as through the addition of windows. Eaves of a minimum 300mm are provided.
- Carports allow for an unobstructed view between the dwelling and the street.
- Where there is side or rear access available, vehicular access occurs from these points and garages and carports are located accordingly.
- Car parking is incorporated into the design of a new **development** as unobtrusively to the streetscape as possible.
- Garages are set behind the front building line of the house.
- The placement of solid/roller doors on garages facing the street is discouraged.
- Car parking areas associated with non-residential **development** is located at the rear of the building and appropriately treated to reduce the visual impact from the street.
- Rear car parks not **visible from the street** may be laid in normal hot mix with a grey finish.



- The width of a garage door facing, and where visible from, the primary street does not exceed 30% of the lot frontage or 6m, whichever is lesser.
- Driveways are a minimum of 3m wide to a maximum width of 30% of the lot frontage or 6m, whichever is lesser. Driveways would therefore be limited based on lot frontage to:

Lot Frontage	Up to 10m	13m	15m	20m+
Driveway Width	3m	3m-3.9m	3m-4.5m	3m-6m
- Where the side wall of a garage is proposed to face the street, it is designed and treated in a manner that it presents as an articulated and detailed façade to the street such as through the addition of windows. Eaves of a minimum 300mm are provided.
- Where there is side or rear access available, vehicular access occurs from these points and garages and carports are located accordingly.
- Garages have a minimum setback of 500mm behind the primary building line.

Figure 31. Parking and Vehicular Access

8.10 Views and Vistas

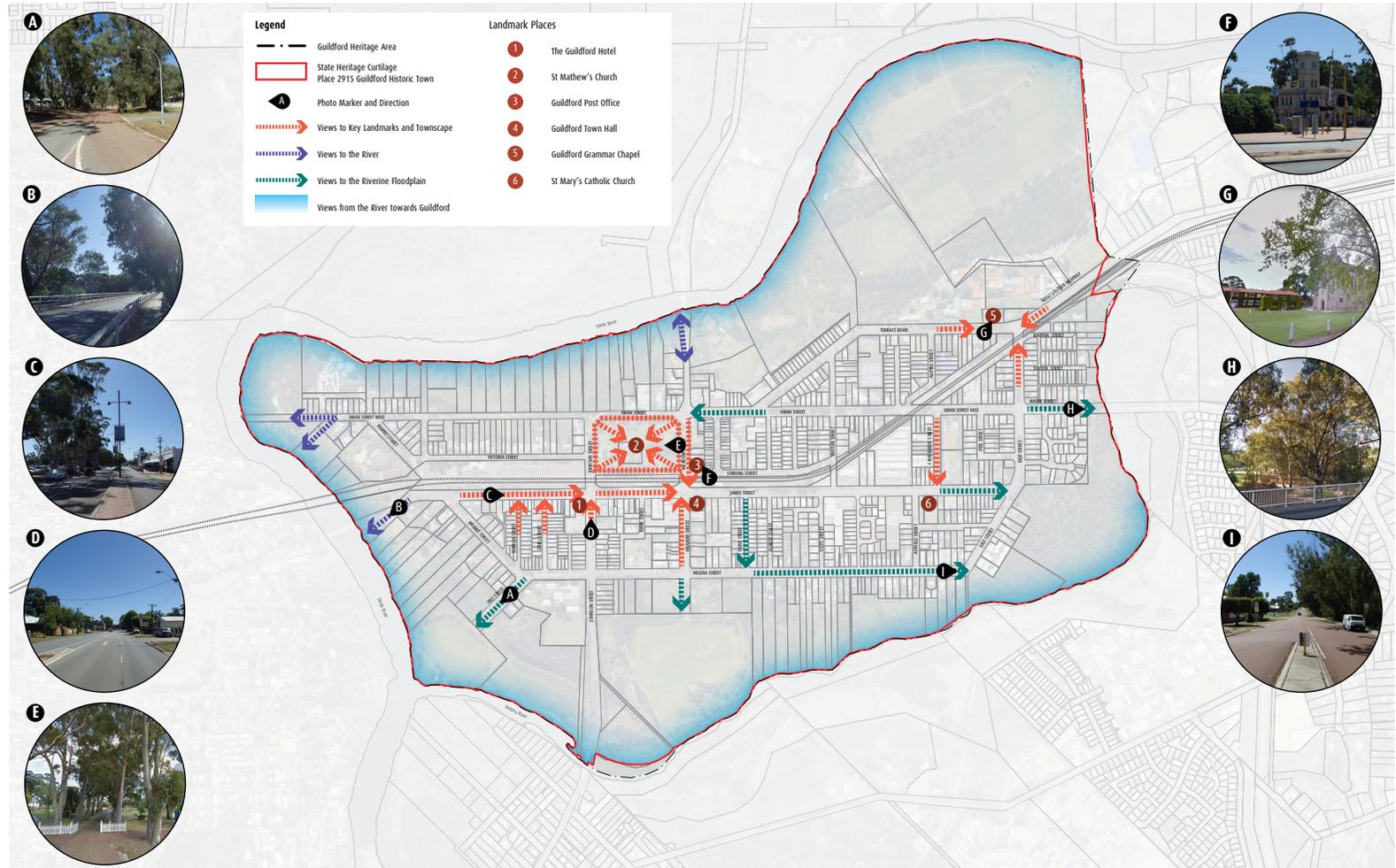
INTENT: From a pedestrian perspective there are identified views and vistas which reinforce an appreciation of the Guildford Heritage Area’s significance. This includes vistas which terminate on riverine or natural surroundings, and also views of built landmarks. It is imperative that these views and vistas are protected to ensure that the sense of place remains intact. Views, vistas and landmarks of particular significance are identified in **MAP 5**.

Performance Criteria	Measures
<p>C8.10.1 Development proposals consider impact on key sight lines, vistas and views throughout Guildford Heritage Area as well as the impact of development from the perspective of people at the street level. Visual connections between key landmarks, along primary street vistas and towards the riverine environment are protected.</p> <p>C8.10.2 Development considers views into the Guildford Heritage Area from surrounding vantage points including views from the river and from outside the registered curtilage looking back towards the Heritage Area.</p> <p>C8.10.3 The height of proposed buildings or structures do not protrude above the tree canopy, appear visually prominent, obstruct views of significance or impede on the surrounding streetscape when viewed from any significant public viewing point.</p> <p>C8.10.4 Development is to be sited and designed to complement the landscape of the surrounding environment, having regard to building size, height, bulk, siting, site coverage and external materials, colours and reflectivity values.</p> <p>C8.10.5 Development shall not restrict appreciation of Guildford Heritage Area as a town centre from the river and peripheries of the curtilage.</p>	<p>M8.10.1 Development at the periphery of the town shall maintain views to the floodplains and riverine environment.</p> <p>M8.10.2 Development shall reflect the generally low rise nature of structures within the Guildford Heritage Area and the visual connection between sites and across lots.</p> <p>M8.10.3 Development shall not protrude above the contributory built form present within the streetscape, i.e. single storey contributory built form shall not be eclipsed by a new second storey unless that second storey is setback behind the contributory built form footprint.</p> <p>M8.10.4 The height of proposed buildings or structures shall not protrude above the tree canopy or obstruct views of significance, connections or streetscapes when viewed from any significant public viewing point.</p>

Design Guidance

DG8.10.1 Views and Vistas

- Development** does not impact on the understanding of the place by respecting relationships between key landmarks, vistas and street views.
- Development** is sited and designed to complement the landscape of the surrounding environment and to retain views of significance within and from outside the Guildford Heritage Area.
- The height of proposed buildings or structures does not compete with or adversely impact on key landmarks.



MAP 5 - Views and vistas

8.11 Other

8.11.1 Building Services

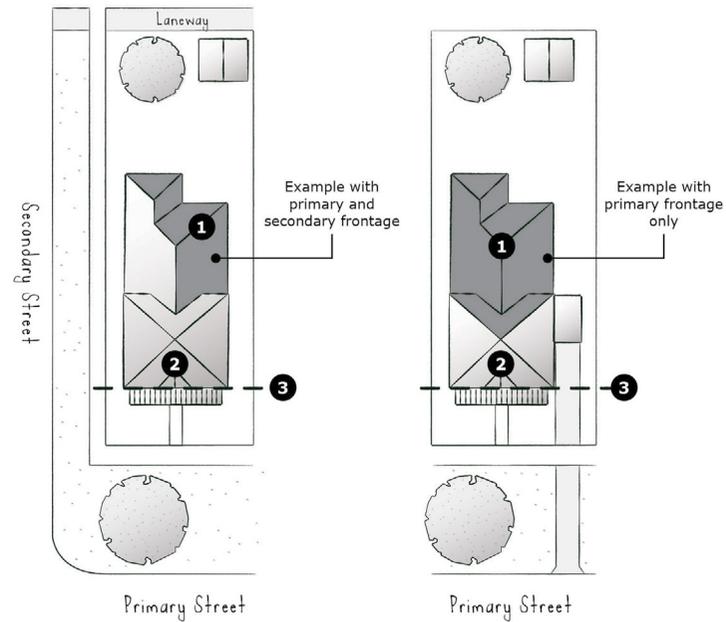
INTENT: External fixtures, such as satellite dishes, telecommunications, radio and TV antennae and air conditioning units, are important elements in facilitating modern communications and living and working environments. Their inappropriate siting, however, has the potential to adversely affect the important heritage streetscapes of the Guildford Heritage Area. Such items can be installed in locations where they are not visible from a street or public place ensuring the fixtures are designed to not adversely impact on the character of Guildford Heritage Area.

Performance Criteria	Measures
C8.11.1.1 External fixtures, including satellite dishes, phone, TV and radio antennae, exhaust vents, air conditioning units, flag poles, wind mills, solar panels and the like, are sited so that they are not visible from the public realm.	M8.11.1 Solar panels and additions seeking to improve the sustainability of a place shall not be visible from the streetscape or impact upon significant views and vistas.
C8.11.1.2 Sustainable design and addition of sustainable building services are encouraged where they will not impact upon the character of the individual place, the streetscape or significant views and vistas.	M8.11.2 Servicing elements shall be situated behind the front setback area and the primary frontage. This includes, but is not limited to, switchboards, water heaters and pipework.
C8.11.3 Where services have been added to a Contributory Place that are not in keeping with the original fabric they are removed whenever possible.	M8.11.3 Redundant later servicing additions are to be removed from primary frontages and finishes made good.
	M8.11.4 Fixtures shall be designed to complement Contributory Places and their surroundings as identified in the relevant Character Statement.

Design Guidance

DG8.11.1

- a. Air conditioning, solar panels, hot water systems, meter boxes and other services are located in areas where they cannot be seen from the primary street.



- 1 Solar panels and additions are not made visible from the streetscape and do not impact upon significant views and vistas.
- 2 Redundant later servicing additions are removed from primary frontages and finishes made good.
- 3 Servicing elements are situated behind the front setback area and off the primary frontage. This includes, but is not limited to, switchboards, water heaters and pipework.

Figure 32. Location of Building Services

8.11.2 Signage

INTENT: To ensure new signage is designed and located in a way that respects the traditional character of the Guildford Heritage Area. Contemporary signage and in particular digital or neon signage is detrimental to a traditional streetscape.

Performance Criteria	Measures
C8.11.2.1 Signage is designed to help express the character of the Guildford Heritage Area , creating an attractive daytime and evening atmosphere.	M8.11.2.1 Signage content should reflect the name, address and services or product relating to the premises, but shall not contain any commercial brand product or third party advertising.
C8.11.2.2 New signs are in keeping with the scale and character of the building upon which they will be attached, are appropriate in their number, scale and positioning, and do not detract from the architecture of the building.	M8.11.2.2 Signage does not obscure views into and out of contributory places.
C8.11.2.3 Signage associated with a Contributory Place is designed and located in a manner which conserves, protects and enhances what is valued about the building or place.	M8.11.2.3 Signage is to be located within a traditional advertising area.
C8.11.2.4 Views into and out of a shop window are not significantly obscured by advertising signs.	M8.11.2.4 In non-residential typologies , signage shall not exceed three signs facing the street per facade of a building and shall not exceed 20% of the area of the facade.
C8.11.2.5 The siting and form of advertising signs on new buildings is considered an integral part of the building design process. Signage areas are identified on new buildings and additions to existing buildings as an essential part of any Development Application.	M8.11.2.5 In addition to M.11.2.4, signage shall not exceed two advertising signs hung below a verandah or awning.
C8.11.2.6 Signage reflects the eclectic nature of the Guildford Heritage Area and its range of uses, products and services. There should be no attempt made to formalise all areas of signage to appear the same.	M8.11.2.6 Pylon, digital, neon or internally illuminated signage shall not be supported unless it can be demonstrated that there is a precedent based on the subject place's contributory era of development. Other non-traditional signage is also considered inappropriate and is unlikely to be supported.
	M8.11.2.7 Traditional signs are to be externally illuminated at night and on non- residential typology buildings only.
	M8.11.2.8 Signs for home business in residential typology area will be limited to one 0.5m ² sign located on the front of the property or in the front setback.

Design Guidance

DG8.11.2.1 Locating Signage in **non-residential typology** area

- a. Advertising signs on buildings are discreet and complement the building and area. Signage does not **dominate** the architectural characteristics of a building. Signage respects and does not obscure important architectural detail on historic buildings.
- b. Advertising signs are placed in locations on the building which would traditionally have been used as advertising areas (generally the front/street elevation of the building). The preferred signage locations include:
 - i. A parapet wall;
 - ii. The awning or verandah fascia;
 - iii. Flush onto the awning or verandah;
 - iv. Under a verandah or awning being orientated at right angles to street with a minimum clearance of 2.75m from the underlying ground level;
 - v. The face of the building; and,
 - vi. The window
- c. No more than a maximum of three advertising signs facing the street per façade of a building. In the case of a building on a corner site with more than one street façade, this shall apply to each individual façade.
- d. A maximum of two advertising signs located under a verandah or awning. Each side of a double-sided advertising sign is considered to be a separate advertising sign.
- e. The total area of advertising signs on any street facade does not exceed 20% of the area of the façade.

DG8.11.2.2 Design of Signage in **Non-residential typology** area

- a. The maximum size of any individual advertising sign is 3m².
- b. Lettering on advertising signs placed on buildings is restricted to 300mm high, except on larger two storey buildings, where the lettering on the principal sign placed on upper storeys is limited to 380mm high.
- c. Content of advertising signs is restricted to the name and address of the premises, name of business contained within the premises; and type of services, activities or products available within the premises.
- d. Advertising signs are a simple design with simple graphics.
- e. Temporary advertising signs painted onto historic buildings, brickwork or stonework are inappropriate and will not be supported.
- f. Advertising signs painted onto corrugated iron or previously painted timber may be permissible where they are in keeping with the **original** character and condition of the relevant Character Statement context.

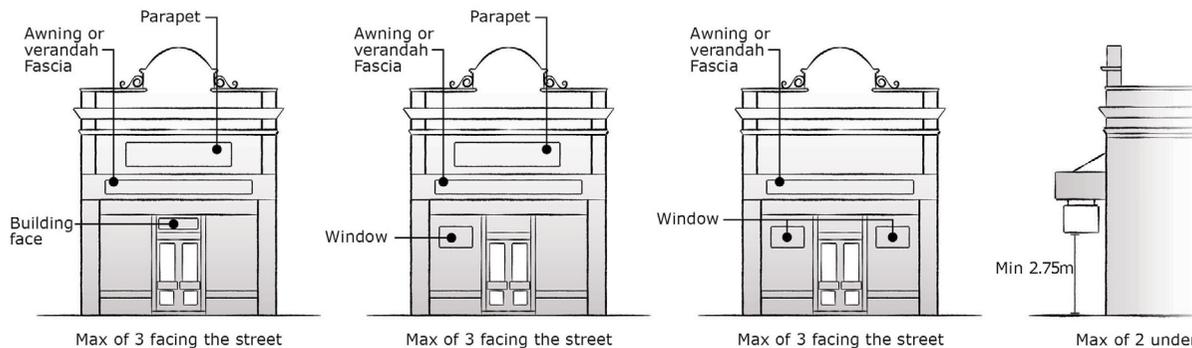


Figure 33. Signage



Externally Lit Signage



Retain original signage that is part of building fabric



Reversible adhesive to shop window



Figure 34. Acceptable locations for commercial signage

8.11.3 Archaeology

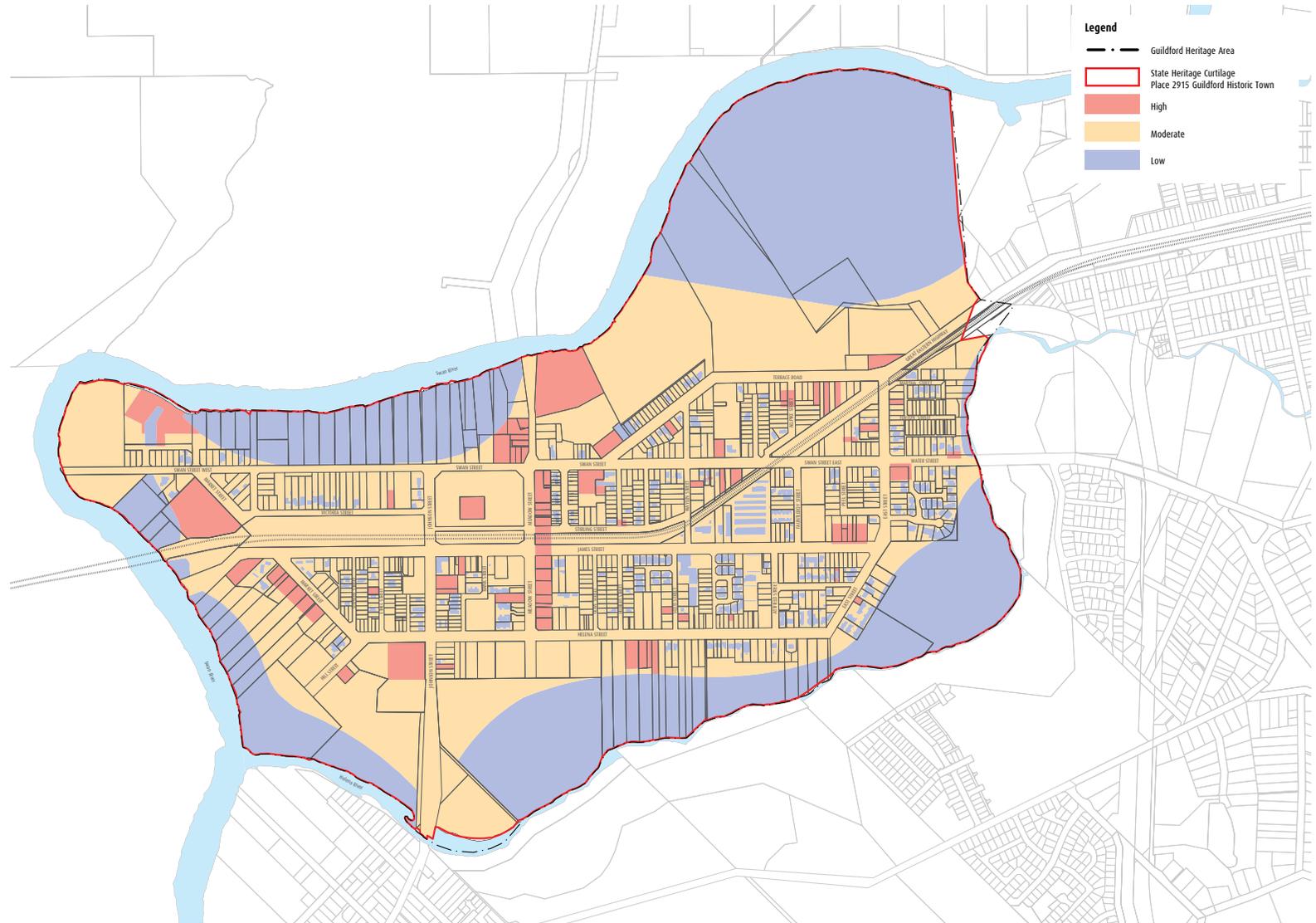
INTENT: The Guildford Heritage Area has an extensive history of occupation. There is a high likelihood that archaeology will be uncovered during new **development** or work that involves altering a **Contributory Place**. Archaeology is an important tangible record that provides an insight into the historical **development** of the Guildford Heritage Area, and discoveries are to be retained and recorded where found with recording and investigation work undertaken by a suitably experienced and qualified archaeologist. The Heritage Council of Western Australia identifies where there is varying potential for archaeology to be uncovered. This archaeological potential is depicted in **MAP 6**.

Performance Criteria	Measures
C8.11.3.1 Areas of archaeological significance as identified on Map 6 are protected from damage.	M8.11.3.1 Approval shall be sought for all works occurring on land identified as holding archaeological significance .
C8.11.3.2 Any works proposed for sites identified as having archaeological significance have demonstrable measures in place to protect potential archaeology from damage during development .	M8.11.3.2 An Archaeological Management Plan compiled by a suitably qualified and experienced archaeologist is required prior to any ground disturbance within areas identified in MAP 6 as having high archaeological potential and realised significance .
C8.11.3.3 Individually listed heritage places are considered for their potential for underfloor archaeology as part of any proposal for alterations, additions or new work.	M8.11.3.3 An Archaeological Assessment/Archaeological Impact Statement should be prepared by a suitably qualified and experienced Archaeologist prior to any ground disturbance within areas identified as having moderate archaeological potential and significance unless these works are proposed within areas where disturbance has previously occurred (e.g. service trenches).
	M8.11.3.4 Development applications for alterations and additions to individually listed heritage properties shall include within their Heritage Impact Statement consideration of any potential for archaeological impact.

Design Guidance

DG8.11.3.1 Ground disturbance in an archaeologically significant zone

- a. Any proposal for ground breaking work within a zone of potential **HIGH archaeological significance** is assessed for potential impact by a qualified archaeologist, and an Archaeological Management Plan prepared to determine appropriate archaeological procedures for the site and guidance as to their execution as part of the works program.
- b. Any proposal for ground breaking work within a zone of moderate **archaeological significance** is assessed for potential impact by a qualified archaeologist, and an Assessment/Archaeological Impact Statement prepared to guide appropriate response in the event of an archaeological find during works.
- c. The design and location of footings or any other ground disturbing building processes in areas of high or moderate potential for **archaeological significance** takes into account the advice of a consulting archaeologist.
- d. Archaeological Management Plans and all documentation relating to archaeological finds during a program of works is provided to the City of Swan and the Department of Planning, Lands and Heritage for record and future reference.



MAP 6 - Archaeology

9. VARIATIONS TO POLICY STATEMENTS

A **development** application which proposes variations to the Measures (as relevant) shall demonstrate achievement of the Performance Criteria and the policy objectives. In making its decision, the determining authority shall have regard to those matters set out in clause 67 of the Planning and Development (Local Planning Schemes) Regulations 2015.

10. APPLICATIONS FOR DEVELOPMENT APPROVAL REQUIREMENTS

Applications for development approval within the Guildford Heritage Area must be accompanied by the following documentation. The City may also elect to obtain its own independent advice on any of the following items to assist in the development application assessment process:

10.1 Character Impact Statement

All development applications will be accompanied by the applicant's justification for the proposed works in the context of the Character Statement. It will demonstrate that the proposed works are appropriate for the context and that the applicant is familiar with the elements/qualities identified in the Character Statement. This shall be supplemented by a photographic analysis of the streetscape.

It is recommended that a Character Impact Statement is undertaken by the architect or designer of the proposal.

10.2 Heritage Impact Statement

A Heritage Impact Statement is required to accompany all development applications relating to the following types of development proposal:

- i. Partial or full demolition of a **Contributory Place** including proposed new **development**.
- ii. Alterations or additions to any individually State Registered Heritage Place.
- iii. New construction visible from the public realm (inclusive of the streetscape) or with potential to affect adjacent heritage listed properties.
- iv. Subdivision and amalgamation of lots.
- v. Seeking variations to any built form controls set out in this policy.

A Heritage Impact Statement is a written report to be undertaken by a qualified heritage professional in accordance with the Department of Planning, Lands and Heritage publication 'Heritage Impact Statement: A Guide' addressing:

- (i) *How will the proposed works affect the cultural significance of the place and the Heritage Area?*

- (ii) *What measures (if any) are proposed to ameliorate any adverse impacts?*

- (iii) *Will the proposal result in any heritage conservation benefits that might offset any adverse impacts?*

For all new infill development, the Heritage Impact Statement will undertake an assessment of the proposal's potential for impact against the overall significance of the Guildford Heritage Area. It will also consider the immediate streetscape context as defined in the Character Statement relating to that property and assess the appropriateness of the proposed development in that context.

10.3 Structural Condition Assessment in the Case of Demolition

If structural failure is cited as a justification for demolition, evidence in the form of a structural condition assessment is required, provided by a practicing structural engineer with experience in heritage planning buildings, in line with Building Act requirements. The assessment must demonstrate that the structural integrity of the building has failed to the point where it cannot be rectified without removal of a majority of its significant fabric and/or prohibitive costs.

10.4 Replacement Building Plans in the Case of Demolition

Prior to approval of demolition for any place in the Guildford Heritage Area, plans of the proposed replacement building are submitted to and approved by the City.

10.5 Archaeological Management Plan

Where any ground disturbance is proposed within areas identified as being of high archaeological potential and significance (refer **Map 6**) an Archaeological Management Plan (AMP) is to be prepared prior to works occurring. An AMP is a document prepared by a suitably qualified and experienced archaeologist to provide for the identification, assessment and management of the archaeological components of a place according to its archaeological potential, level of significance and any statutory requirements. Where any ground disturbance is proposed on sites included in the City's Heritage List and / or the State Register of Heritage Places, and identified as being of potential moderate archaeological potential and significance in the policy and their place record form associated with heritage listing, an Assessment/Archaeological Impact Statement should be prepared by a suitably qualified and experienced archaeologist is prepared prior to works occurring to outline whether archaeological monitoring/recovery is required and an appropriate approach should this be recommended.

At the discretion of the City and the Department of Planning, Lands and Heritage, applications for development approval may be required to include one or more of the following. Preparation of one or more of these documents may also form part of a condition of development approval:

(a) Conservation Management Plan

A Conservation Management Plan (CMP) is the principal guiding document for the conservation and management of a heritage place. A CMP identifies the heritage significance of the place and provides clear policies for its sustainable and appropriate future management, conservation, use and change. This is a written report provided by a qualified heritage professional in accordance with the Heritage Council's guidelines and standard brief.

(b) Archival Recording in the Case of Demolition

In the case of a proposal for demolition of a **heritage place** the City may require the applicant, as a condition of approval, to submit an archival record of the place, prior to the commencement of demolition.

This shall be undertaken in accordance with the Department of Planning, Lands and Heritage 'Guide to Preparing an Archival Record' and in most cases includes a plan with photographs of the place in its setting, elevations, together with a photograph of each room, and any special feature(s) that the place may have. These photographs should be keyed to the plan with numbers and arrows.

10.6 Community and Stakeholders Engagement

As a **Heritage Area** with strong community associations and values, the community's opinion on the future management of Guildford Heritage Area is integrated into the future decision-making process.

The community stakeholders in Guildford Heritage Area as listed in the Statement of Significance provide input into the City's Development Application assessment process. These stakeholders are:

- The Guildford Association
- Swan Guildford Historical Society
- The National Trust of Western Australia
- Whadjuk Noongar (Mandoon area).

All development applications relating to the Guildford Heritage Area are referred to these community stakeholders identified within the Statement of Significance for the Guildford Heritage Area as part of the statutory community advertising period. Feedback received from community stakeholders will be considered as part of the development application assessment process in addition to any responses received from the public during the community advertising period.

The City may elect to form a Guildford Heritage Area Advisory Group. This group will have representation from the aforementioned stakeholders. In the event such a group is formed they will act as the sole community referral body.

11. BUFFER ZONE CONSIDERATIONS

There is potential for development outside of the Guildford Heritage Area to affect its significance; in particular development which intrudes on the riverine setting of the Heritage Area and views towards the river or the surrounding flood plain.

While it is not within the remit of this policy to establish a formalised buffer zone, under Section 73(1) of the *Heritage Act 2018* the City may elect to refer any development proposal to the Heritage Council for advice if it is considered that the development has the potential to impact upon the significance of the place.

12. DEFINITIONS

Archaeological significance	Means land which, based on known history, has the potential to yield archaeological information.
Archaeological Management Plan	A document supported by an Archaeological Management Strategy which provides for identification, assessment, and management of archaeological significance.
Character	Defining features of a place, including scale, materiality, style or repetition.
Contributory Built Form / Structures	As per the definition for building in the Residential Design Codes, and including structures visible from the street such as pergolas, front walls & fences and pools.
Contributory Places	Means places and structures that make a positive contribution to the cultural heritage significance of Guildford Heritage Area. They date from 1829 up to and including 1945.
Development	Has the same meaning as defined in the Planning and Development Act 2005.
Dominate	Visually imposes over an existing streetscape due to inappropriate form, scale, location.
Fabric	Means all the physical material of a contributory place, including components, fixtures, contents and objects.
Floodplain	Inclusive of floodway and flood fringe as defined under Local Planning Scheme 17.
Front setback area	Means the space between the primary street boundary and primary building line.
Heritage Place	Means a place which is individually included on either the City of Swan Heritage List or the State Register of Heritage Places.
Heritage Area	Refer to Map 1.
Heritage List	Is a list of places which have cultural heritage significance and are given statutory protection under the City of Swan Local Planning Scheme.
Heritage Place	Means land, which may or may not contain a building, that is individually included on either the City of Swan Heritage List or the State Register of Heritage Places.
ICOMOS Burra Charter	The Burra Charter: the Australia ICOMOS Charter for Places of Cultural Significance, 2013 and the associated series of Practice Notes provide a best practice standard for managing cultural heritage places in Australia.
Internally Lit Sign	Means signs that are self-illuminated, such as neon signs or illuminated lettering.
Local Heritage Survey	Local Heritage Surveys (formerly local heritage inventories or municipal inventories) identify and record places that are, or that might become, of cultural heritage significance. The local heritage survey (LHS) is a starting resource for local heritage planning and in itself has no statutory role.

Low-rise nature	Meaning that Guildford's general building height is predominantly single-storey.
Mature trees	Means specimens that have reached their full potential in height, age or fruiting.
Muted colour	Non primary colours, typical of 1829-1945 construction in Perth.
Non-Contributory	Means buildings and structures which do not contribute to the cultural heritage significance of Guildford and are built after 1945.
Non-Residential Typology	Means buildings designed to accommodate multiple uses, such as retail, office or hospitality. May also partly include residential as mixed-use development.
Original	Means an element of something which relates to its earliest state. In Guildford, contributory dwellings were built from 1829-1945.
Plate Height	Means the horizontal plane where the exterior walls meet the roof rafters or trusses.
Predominant pattern (boundary elements)	Means the prevailing height set by fences and boundary walls in the streetscape. Not exceeding 1.200mm on primary street and 1800mm on secondary streets (refer to Figure 28).
Predominant setback	Means the average contributory street setback of the primary building line of five dwellings to either side of the lot on that same side of the street and within the same street block, or up to five dwellings where not possible.
Primary building	Means the largest building on the lot. Most likely to be the house or building that relates to zoning of the land.
Primary building line	Means the longest horizontal plane of the exterior wall to a dwelling fronting the primary street .
Residential Typology	Means buildings designed to exclusively accommodate residential housing not including multiple residential dwellings.
Significant Interior	Means a place designed in the Heritage List as having 'an interior with cultural heritage significance', based on assessment of significance associated with the place.
Significant Trees	Means trees which are specified on the statement of significance of an individual heritage listed place or included on a significant trees register.
Sympathetic or Complementary	Means a design outcome that respects its context. It will not be identical to historic neighbours, nor will it intrude on their presence in the streetscape. It will be of a similar or lesser scale.
Visible from street	Refer to Figure 10.

Document Control

Document Approvals:

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2. 75 % DRAFT PREPARED BY ELEMENT	
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Document Responsibilities

Custodian:	Manager, Strategic Planning	Custodian Unit:	Strategic Planning
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Compliance Requirements:

Legislation:	Planning and Development (Local Planning Schemes) Regulations 2015 Heritage Act 2018
Industry:	
Organisational:	
Strategic Community Plan:	

APPENDIX 1 - HCWA Statement of Significance

Guildford Heritage Area is included on the State Register of Heritage Places as *Guildford Historic Town* which includes the following statement of significance:

Guildford Historic Town, established in 1829 on the confluence of the Swan and Helena Rivers on Whadjuk Noongar land whose people maintain a continuing cultural connection to the place, and comprising a central church square and a grid street pattern lined with mature street trees, a core of civic and commercial buildings with surrounding residential areas, and river front lots primarily developed in the Colonial, Convict, Gold Boom and Federation eras through to the Inter-War period, all encircled by openly wooded undeveloped riverine floodplain, has cultural heritage significance for the following reasons:

the highly authentic built fabric of the place illustrates at least five key periods in the State's history, with simple Georgian buildings of the foundation of the Colony, brick public buildings of the Convict era, imposing and opulent buildings of the Gold Boom, and fine examples of residential and civic buildings of the Federation and Inter-War periods, all of which together form a cohesive precinct;

as one of three towns established in 1829 in the Swan River Colony, including the seaport (Fremantle) and the administrative centre (Perth), Guildford was central to the agricultural and horticultural development of the Colony, as the first (and only) inland port in Western Australia, providing an essential transport node, firstly by river and then by rail, linking the Colony's seaport to the hinterland;

the place is an excellent representative example of a highly intact nineteenth-century town, designed on the regulated British colonial town planning model, that includes a purpose-designed public square containing the town's main church, and which retains its original grid street layout aligned to cardinal points and its public reserves;

the place contains remnant long, narrow ribbon grants perpendicular to the banks of the Swan and Helena Rivers which are tangible evidence of agricultural land allocation envisioned by the founders of the Swan River Colony to provide each settler with access to water and the richer alluvial soils;

the town plan of the place is notable for incorporating one of the earliest purpose-designed public squares in Australia, and is rare for remaining clearly evident;

the place is unique in the metropolitan area for retaining a strong sense of being a distinct town, separate from the surrounding suburbs, as a result of its encirclement by the openly wooded, undeveloped riverine floodplain along the banks of the Swan and Helena Rivers;

much of the place's character derives from its highly picturesque combination of low scale residential areas that have remained largely unchanged since the Inter-War period, and the variations between the wide streets with large lots, many with mature street trees and a variety of housing types from simple Colonial era cottages to the grander homes of the Gold Boom and Federation eras, and the narrower highly uniform streets of small scale cottages on smaller lots;

the place has a high degree of potential to reveal archaeological evidence relating to the history and occupation of the area from its foundation to the early twentieth century, most notably for the early settlement period;

the place retains many original plantings, including a large number of mature Sugar Gums that were planted throughout Guildford from the late 1890s to early 1900s as part of a tree planting program, many of which comprise formal avenues;

the place is associated with many significant individuals, including Government officials, early pioneers and merchants, and well renowned Government and private architects; and,

the place is highly valued by the local and wider community, including the Whadjuk Noongar people who know it as Mandoon, and who maintain a continuing cultural connection to the place, members of the Swan Guildford Historical Society as evidenced by their work since 1962, and members of the Guildford Association since 1975, both of which were formed to preserve the history and character of the area, and by the classification of the place by the National Trust of Australia in 1984.



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