

APPENDIX A

CERTIFICATE OF TITLE

WESTERN



AUSTRALIA

REGISTER NUMBER 51/D63676	
DUPLICATE EDITION 1	DATE DUPLICATE ISSUED 2/5/2011

RECORD OF CERTIFICATE OF TITLE
 UNDER THE TRANSFER OF LAND ACT 1893

VOLUME **2228** FOLIO **279**

The person described in the first schedule is the registered proprietor of an estate in fee simple in the land described below subject to the reservations, conditions and depth limit contained in the original grant (if a grant issued) and to the limitations, interests, encumbrances and notifications shown in the second schedule.

BGRoberts
 REGISTRAR OF TITLES



LAND DESCRIPTION:

LOT 51 ON DIAGRAM 63676

REGISTERED PROPRIETOR:
 (FIRST SCHEDULE)

WESTERN AUSTRALIAN PLANNING COMMISSION OF 140 WILLIAM STREET PERTH WA 6000
 (T 0798260) REGISTERED 9/7/2021

LIMITATIONS, INTERESTS, ENCUMBRANCES AND NOTIFICATIONS:
 (SECOND SCHEDULE)

Warning: A current search of the sketch of the land should be obtained where detail of position, dimensions or area of the lot is required.
 * Any entries preceded by an asterisk may not appear on the current edition of the duplicate certificate of title.
 Lot as described in the land description may be a lot or location.

-----END OF CERTIFICATE OF TITLE-----

STATEMENTS:

The statements set out below are not intended to be nor should they be relied on as substitutes for inspection of the land and the relevant documents or for local government, legal, surveying or other professional advice.

SKETCH OF LAND: D63676
 PREVIOUS TITLE: 1633-986
 PROPERTY STREET ADDRESS: 324 PARK ST, HENLEY BROOK.
 LOCAL GOVERNMENT AUTHORITY: CITY OF SWAN
 RESPONSIBLE AGENCY: WESTERN AUSTRALIAN PLANNING COMMISSION

NOTE 1: DUPLICATE CERTIFICATE OF TITLE NOT ISSUED AS REQUESTED BY DEALING
 O272730

WESTERN



AUSTRALIA

REGISTER NUMBER 52/D63676	
DUPLICATE EDITION 1	DATE DUPLICATE ISSUED 11/3/2021

RECORD OF CERTIFICATE OF TITLE
UNDER THE TRANSFER OF LAND ACT 1893

VOLUME 1633 FOLIO 987

The person described in the first schedule is the registered proprietor of an estate in fee simple in the land described below subject to the reservations, conditions and depth limit contained in the original grant (if a grant issued) and to the limitations, interests, encumbrances and notifications shown in the second schedule.

BG Roberts
REGISTRAR OF TITLES



LAND DESCRIPTION:

LOT 52 ON DIAGRAM 63676

REGISTERED PROPRIETOR:
(FIRST SCHEDULE)

MINISTER FOR EDUCATION OF 151 ROYAL STREET EAST PERTH WA 6004

(T O643859) REGISTERED 16/2/2021

LIMITATIONS, INTERESTS, ENCUMBRANCES AND NOTIFICATIONS:
(SECOND SCHEDULE)

Warning: A current search of the sketch of the land should be obtained where detail of position, dimensions or area of the lot is required.
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Lot as described in the land description may be a lot or location.

-----END OF CERTIFICATE OF TITLE-----

STATEMENTS:

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SKETCH OF LAND: 1633-987 (52/D63676)
PREVIOUS TITLE: 1633-984
PROPERTY STREET ADDRESS: 316 PARK ST, HENLEY BROOK.
LOCAL GOVERNMENT AUTHORITY: CITY OF SWAN
RESPONSIBLE AGENCY: DEPARTMENT OF EDUCATION



Application C468121

WESTERN



AUSTRALIA

Volume 1633 Folio 984

1633 987

CERTIFICATE OF TITLE

UNDER THE "TRANSFER OF LAND ACT, 1893" AS AMENDED

I certify that the person described in the First Schedule hereto is the registered proprietor of the undermentioned estate in the undermentioned land subject to the easements and encumbrances shown in the Second Schedule hereto.

Dated 13th December, 1982

Jamison
REGISTRAR OF TITLES



ESTATE AND LAND REFERRED TO

Estate in fee simple in portion of Swan Location E1 and being Lot 52 on Diagram 63676, delineated and coloured green on the map in the Third Schedule hereto.

FIRST SCHEDULE (continued overleaf)

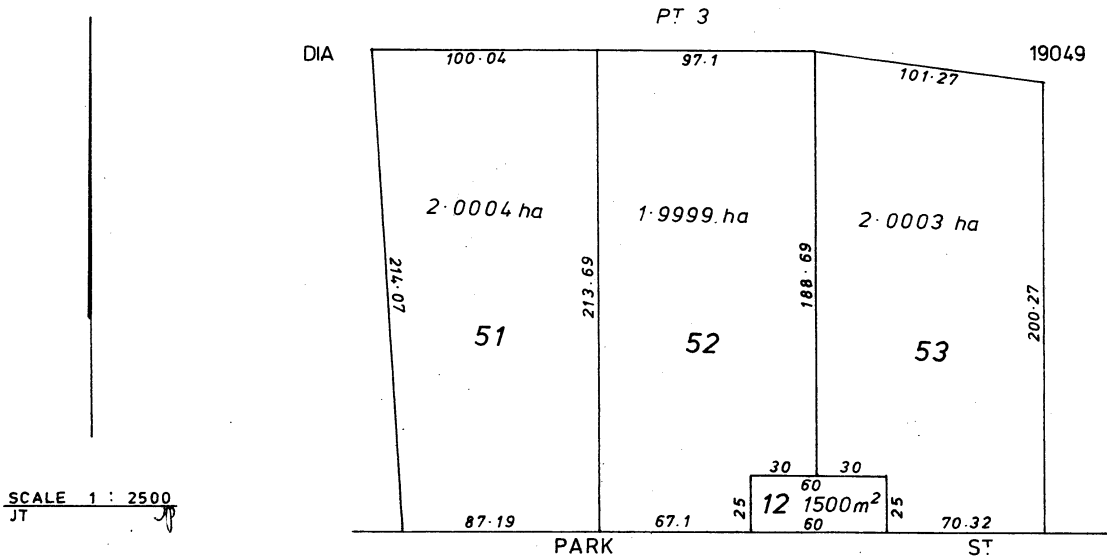
~~Carl Georgeff, Medical Practitioner, of two undivided fifth shares, Phyllis Lilian Georgeff, his wife, of one undivided fifth share, both of 16 Kings Park Avenue, Crawley, Dianne Keddie of Post Office Box 48, Dickson, Australian Capital Territory, Physiotherapist, of one undivided fifth share and Marilyn Edwards, Married Woman, of care of Carl Georgeff, "Cacharn", 16 Kings Park Avenue, Crawley, of one undivided fifth share, as tenants in common.~~

SECOND SCHEDULE (continued overleaf)

NIL

Jamison
REGISTRAR OF TITLES

THIRD SCHEDULE



SCALE 1 : 2500
JT

NOTE: RULING THROUGH AND SEALING WITH THE OFFICE SEAL INDICATES THAT AN ENTRY NO LONGER HAS EFFECT. ENTRIES NOT RULED THROUGH MAY BE AFFECTED BY SUBSEQUENT ENDORSEMENTS.

72069/12/77-45M-S/2880

Superseded - Copy for Sketch Only

PERSONS ARE CAUTIONED AGAINST ALTERING OR ADDING TO THIS CERTIFICATE OR ANY NOTIFICATION HEREON

NOTE: RULING THROUGH AND SEALING WITH THE OFFICE SEAL INDICATES THAT AN ENTRY NO LONGER HAS EFFECT. ENTRIES NOT RULED THROUGH MAY BE AFFECTED BY SUBSEQUENT ENDORSEMENTS.

FIRST SCHEDULE (continued)

REGISTERED PROPRIETOR	INSTRUMENT		REGISTERED	TIME	SEAL	INITIALS
	NATURE	NUMBER				
Kevin James Grylls, of 9 Miller Avenue, Redcliffe, Helecom Lineeman. The correct address of the registered proprietor is now Lot 52 Park Street, Henley Brook. Adrian Alistair Kerr, Fitter and Hyang-Ja Kerr, Housewife, both of Lot 97 Woodland Lane, Bindoon, as joint tenants.	Transfer	G468122	17.12.82	11.32		<i>mw</i>
	By	D18271	10.5.85	9.03		<i>P</i>
	Transfer	D808268	8.7.88	11.51		<i>R</i>

NOTE: RULING THROUGH AND SEALING WITH THE OFFICE SEAL INDICATES THAT AN ENTRY NO LONGER HAS EFFECT. ENTRIES NOT RULED THROUGH MAY BE AFFECTED BY SUBSEQUENT ENDORSEMENTS.

SECOND SCHEDULE (continued)

INSTRUMENT NATURE	PARTICULARS	REGISTERED	TIME	SEAL	INITIALS	CANCELLATION	NUMBER	REGISTERED OR LODGED	SEAL	INITIALS
					<i>P</i>	Discharged	D808267	8.7.88		<i>R</i>

WESTERN



AUSTRALIA

REGISTER NUMBER 53/D63676	
DUPLICATE EDITION 2	DATE DUPLICATE ISSUED 4/4/2007

RECORD OF CERTIFICATE OF TITLE
UNDER THE TRANSFER OF LAND ACT 1893

VOLUME 1633 FOLIO 988

The person described in the first schedule is the registered proprietor of an estate in fee simple in the land described below subject to the reservations, conditions and depth limit contained in the original grant (if a grant issued) and to the limitations, interests, encumbrances and notifications shown in the second schedule.

BG Roberts
REGISTRAR OF TITLES



LAND DESCRIPTION:

LOT 53 ON DIAGRAM 63676

REGISTERED PROPRIETOR:
(FIRST SCHEDULE)

MINISTER FOR EDUCATION OF 151 ROYAL STREET EAST PERTH WA 6004

(T O651056) REGISTERED 23/2/2021

LIMITATIONS, INTERESTS, ENCUMBRANCES AND NOTIFICATIONS:
(SECOND SCHEDULE)

Warning: A current search of the sketch of the land should be obtained where detail of position, dimensions or area of the lot is required.
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Lot as described in the land description may be a lot or location.

-----END OF CERTIFICATE OF TITLE-----

STATEMENTS:

The statements set out below are not intended to be nor should they be relied on as substitutes for inspection of the land and the relevant documents or for local government, legal, surveying or other professional advice.

SKETCH OF LAND: 1633-988 (53/D63676)
PREVIOUS TITLE: 1633-984
PROPERTY STREET ADDRESS: 308 PARK ST, HENLEY BROOK.
LOCAL GOVERNMENT AUTHORITY: CITY OF SWAN
RESPONSIBLE AGENCY: DEPARTMENT OF EDUCATION

NOTE 1: DUPLICATE CERTIFICATE OF TITLE NOT ISSUED AS REQUESTED BY DEALING L310188



Application C468121

WESTERN



AUSTRALIA

Volume 1633 Folio 984



1633 988

CERTIFICATE OF TITLE

UNDER THE "TRANSFER OF LAND ACT, 1893" AS AMENDED

I certify that the person described in the First Schedule hereto is the registered proprietor of the undermentioned estate in the undermentioned land subject to the easements and encumbrances shown in the Second Schedule hereto.

Dated 13th December, 1982

Jamison

REGISTRAR OF TITLES



ESTATE AND LAND REFERRED TO

Estate in fee simple in portion of Swan Location E1 and being Lot 53 on Diagram 63676, delineated and coloured green on the map in the Third Schedule hereto.

FIRST SCHEDULE (continued overleaf)

~~Carl Georgeff, Medical Practitioner, of two undivided fifth shares, Phyllis Lillian Georgeff, his wife, of one undivided fifth share, both of 16 Kings Park Avenue, Crawley, Dianne Keddie of Post Office Box 48, Dickson, Australian Capital Territory, Physiotherapist, of one undivided fifth share and Marilyn Edwards, Married Woman, of care of Carl Georgeff, "Strathearn", 16 Kings Park Avenue, Crawley, of one undivided fifth share, as tenants in common.~~

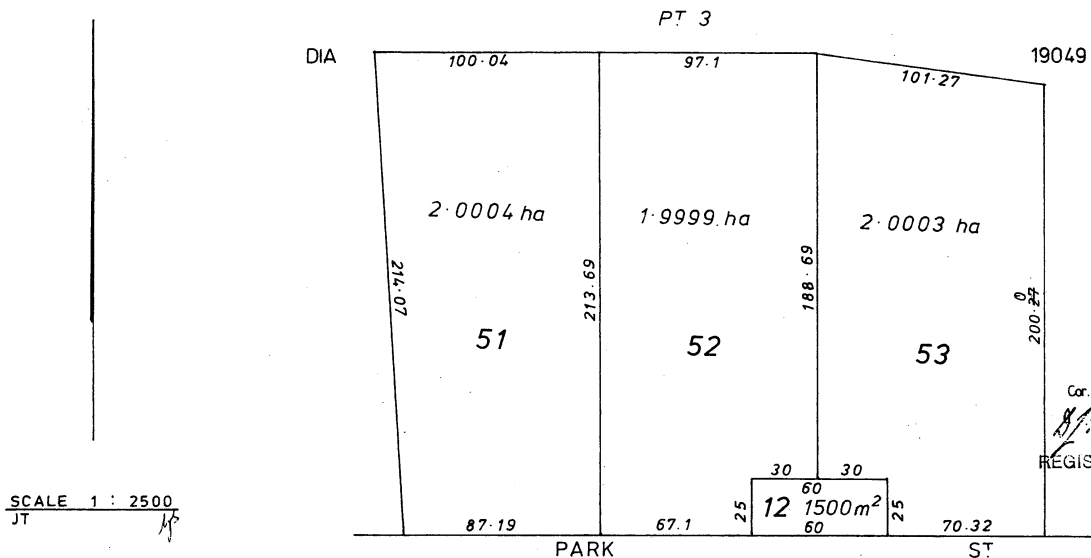
SECOND SCHEDULE (continued overleaf)

NIL

Jamison

REGISTRAR OF TITLES

THIRD SCHEDULE



SCALE 1 : 2500
JT

NOTE: RULING THROUGH AND SEALING WITH THE OFFICE SEAL INDICATES THAT AN ENTRY NO LONGER HAS EFFECT. ENTRIES NOT RULED THROUGH MAY BE AFFECTED BY SUBSEQUENT ENDORSEMENTS.

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FIRST SCHEDULE (continued)

REGISTERED PROPRIETOR	INSTRUMENT		REGISTERED	TIME	SEAL	INITIALS
	NATURE	NUMBER				
John Wilson Heron, Printer, of care of John Heron Pty. Ltd., 23 Ruse Street, Osborne Park. Bryan Martin Field, Navigation Crew Chief, and Robyn Jennifer Field, Home Duties, both of 29 Baronet Road, Lesmurdie, as joint tenants.	Transfer	0622543	7.10.83	3.30		
	Transfer	D516056	13.7.87	9.26		

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SECOND SCHEDULE (continued)

INSTRUMENT	PARTICULARS	REGISTERED	TIME	SEAL	INITIALS	CANCELLATION	NUMBER	REGISTERED OR LODGED	SEAL	INITIALS
Mortgage	to Perth Building Society.	7.10.83	3.30			Discharged	D516055	13.7.87		
Mortgage	to Commonwealth Savings Bank of Australia.	13.7.87	9.26			Discharged	E811227	18.2.92		