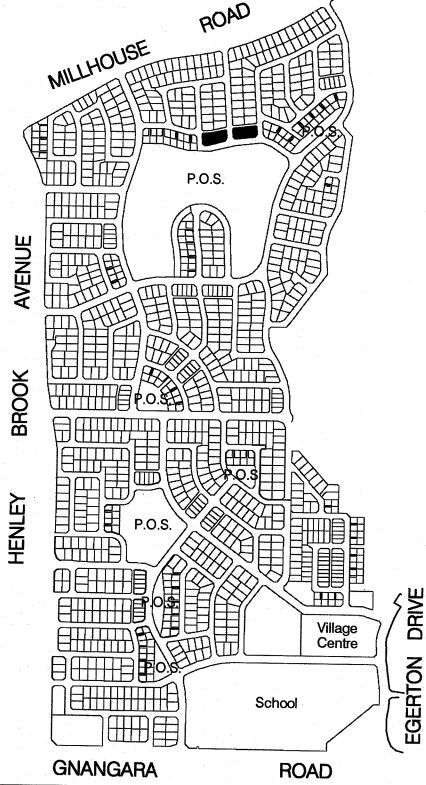


LOCALITY PLAN - n.t.s.



LEGEND

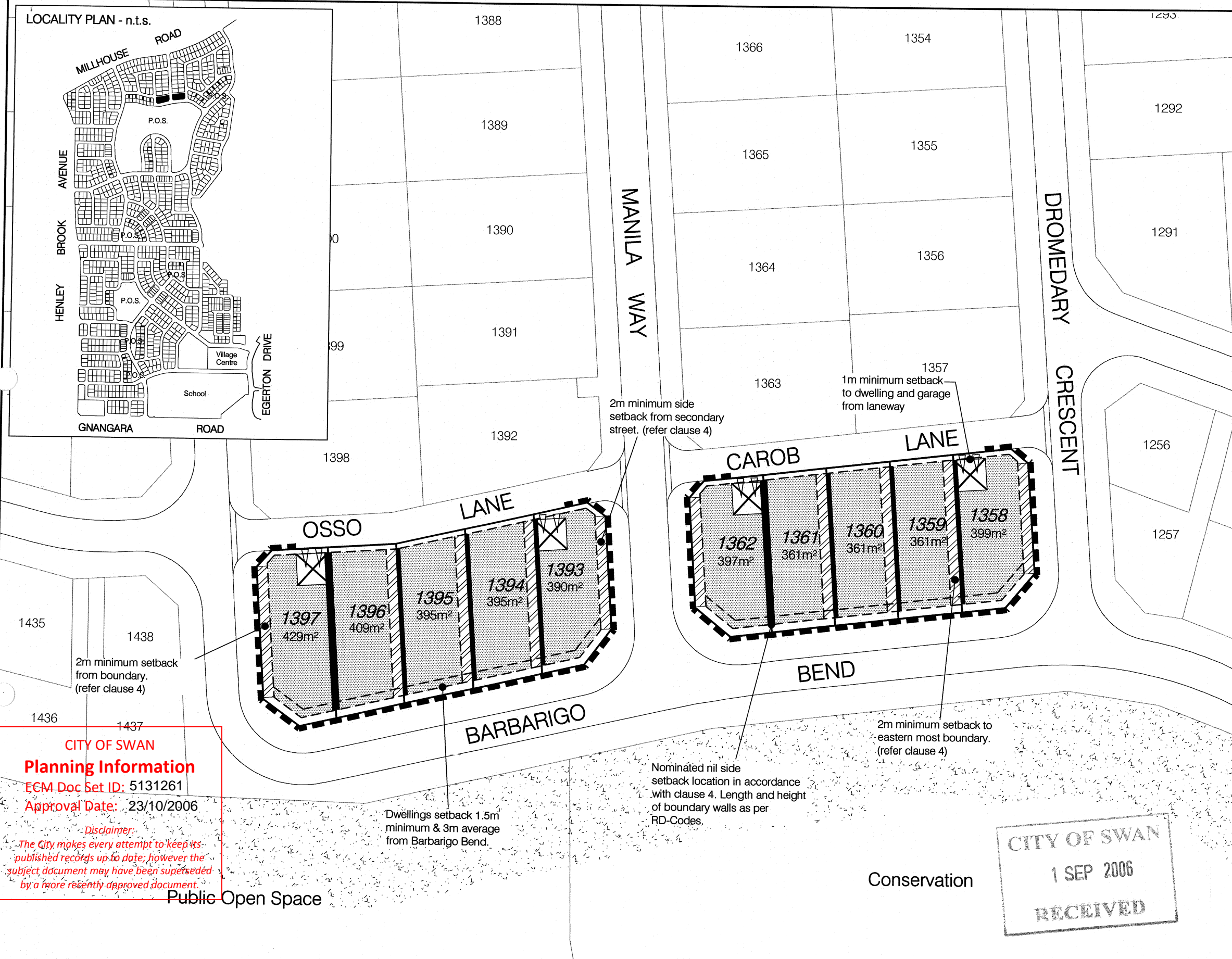
- Building envelope boundary.
- Building envelope area.
- Designated garage location.
- Nominated nil side setback location. (refer clause 4)
- No vehicular access permitted.
- 2m setback location. (refer clause 4)

DETAILED AREA PLAN RD-CODE VARIATIONS

All dwellings & outbuildings are to be located within the building envelopes. The District Town Planning Scheme and RD-Codes are varied in the following manner. All other requirements of the RD-Codes and District Town Planning Scheme shall be satisfied.

1. Consultation with adjoining or other landowners to achieve a variation of the RD-Codes, in accordance with the approved Detailed Area Plan, is not required.
2. Density coding is R-30 (Refer Development Plan One Density Site Plan).
3. The front elevation of the dwellings shall address the primary and secondary streets through the use of major openings, front verandahs, porches and outdoor living areas.
4. The minimum open space requirement may be reduced from those specified in the RD-Codes to a minimum of 35% subject to compliance with the following criteria:
 - a) Minimum 2m side setback to habitable rooms with major openings, to the designated boundary as shown on the DAP, and;
 - b) Any boundary wall (if proposed) to be built on the nominated zero lot line boundary and in accordance with the standards of the RD-Codes, and;
 - c) Provision of an Outdoor Living Area, in accordance with the RD-Codes, directly accessible from an internal living area. The Outdoor Living Area is to adjoin the northernmost or eastern most lot boundary.
5. Rubbish bin storage area to be provided within the lot adjoining the laneway, 1.0m deep and 1.5m wide, in accordance with City of Swan requirements.

These provisions are only required to be met where the variation to the minimum open space requirements to 35% is sought, in all other instances the provisions of the RD-Codes apply.



CITY OF SWAN
Planning Information
 EGM Doc Set ID: 5131261
 Approval Date: 23/10/2006

Disclaimer:
 The City makes every attempt to keep its published records up to date; however the subject document may have been superseded by a more recently approved document.

Public Open Space

Dwellings setback 1.5m minimum & 3m average from Barbarigo Bend.

Nominated nil side setback location in accordance with clause 4. Length and height of boundary walls as per RD-Codes.

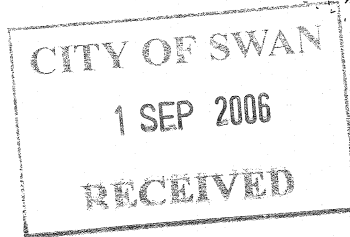
2m minimum setback to eastern most boundary. (refer clause 4)

2m minimum side setback from secondary street. (refer clause 4)

1m minimum setback to dwelling and garage from laneway

2m minimum setback from boundary. (refer clause 4)

Conservation

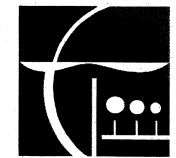


Approved by the City of Swan
 for *[Signature]* 23/10/06
 Principal Planner Date

COTTAGE LOTS - DETAILED AREA PLAN No. 18

LOTS 1358-1362, 1393-1397 BARBARIGO BEND - VALE, EGERTON

CITY OF SWAN



CHAPPELL
 LAMBERT
 EVERETT

DATE: 26.05.06
 REVISED: 30.08.06
 SCALE: 1:750 (A3)
 COMPILED: CLE, MAPS
 PLAN No.: 995-152A

THIS PLAN IS CURRENT AT THE REVISED DATE & SUBJECT TO APPROVAL, SURVEY & ENGINEERING DETAIL. THIS PLAN IS THE PROPERTY OF CHAPPELL LAMBERT EVERETT ©. LEVEL 2-36 ROWLAND STREET SUBIACO WA 6008 PO BOX 706 SUBIACO WA 6004 phone: (08) 9382 1233 fax: (08) 9382 1127 email: admin@cleplan.com.au