

CITY OF SWAN
Planning Information
 ECM Doc Set ID: 5452327
 Approval Date: 23/10/2006

*Disclaimer:
 The City makes every attempt to keep its published records up to date, however the subject document may have been superseded by a more recently approved document.*

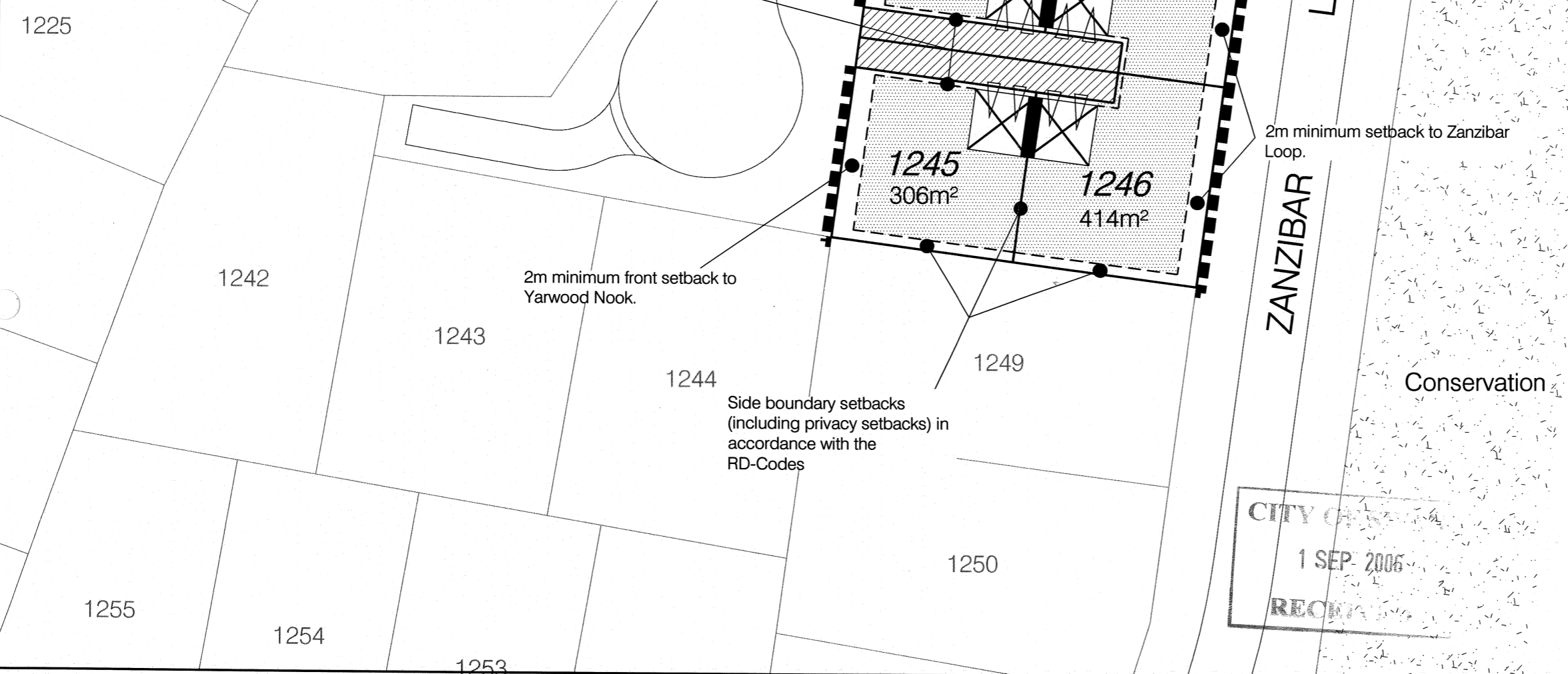
LEGEND

- Building envelope boundary.
- Building envelope area.
- Designated garage location.
- Nominated nil side setback location.
- No vehicular access permitted.
- Designated driveway location. Reciprocal Rights of Access easement on Certificate of Title to ensure access.

DETAILED AREA PLAN RD-CODE VARIATIONS

All dwellings & outbuildings are to be located within the building envelopes. The District Town Planning Scheme and RD-Codes are varied in the following manner. All other requirements of the RD-Codes and District Town Planning Scheme shall be satisfied.

1. Consultation with adjoining or other landowners to achieve a variation of the RD-Codes, in accordance with the approved Detailed Area Plan, is not required.
2. Density coding is R-30 (Refer Development Plan One Density Site Plan).
3. Maximum site cover of 60% applies to lots fronting Yarwood Nook (Lots 1245 and 1248). Where an outdoor living area of greater than 30m² is provided, a maximum site cover of 65% is permitted.
4. Maximum site cover of 55% applies to lots fronting Zanzibar Loop (Lots 1246 and 1247). Where an outdoor living area of greater than 30m² is provided, a maximum site cover of 60% is permitted.
5. The front elevation of the dwellings shall address the primary and secondary streets through the use of major openings, front verandahs, porches and outdoor living areas.
6. Side elevations of dwellings are encouraged to address the internal access leg through the use of major openings and architectural features.
7. Manoeuvring space is required beyond garages to ensure vehicles exit in forward gear.

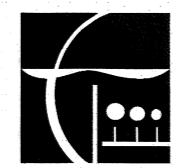


CITY OF SWAN
 1 SEP 2006
 RECEIVED

Approved by the City of Swan

 Principal Planner
 23/10/06
 Date

FOUR PACK LOTS - DETAILED AREA PLAN No. 23
LOTS 1245-1248 YARWOOD NOOK - VALE, EGERTON
CITY OF SWAN



**CHAPPELL
 LAMBERT
 EVERETT**
 TOWN PLANNING + URBAN DESIGN

DATE: 31.05.06
 REVISED: 30.08.06
 SCALE: 1:500 (A3)
 COMPILED: CLE, MAPS
 PLAN No.: 995-158A

THIS PLAN IS CURRENT AT THE REVISED DATE & SUBJECT TO APPROVAL, SURVEY & ENGINEERING DETAIL. THIS PLAN IS THE PROPERTY OF CHAPPELL LAMBERT EVERETT ©
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