





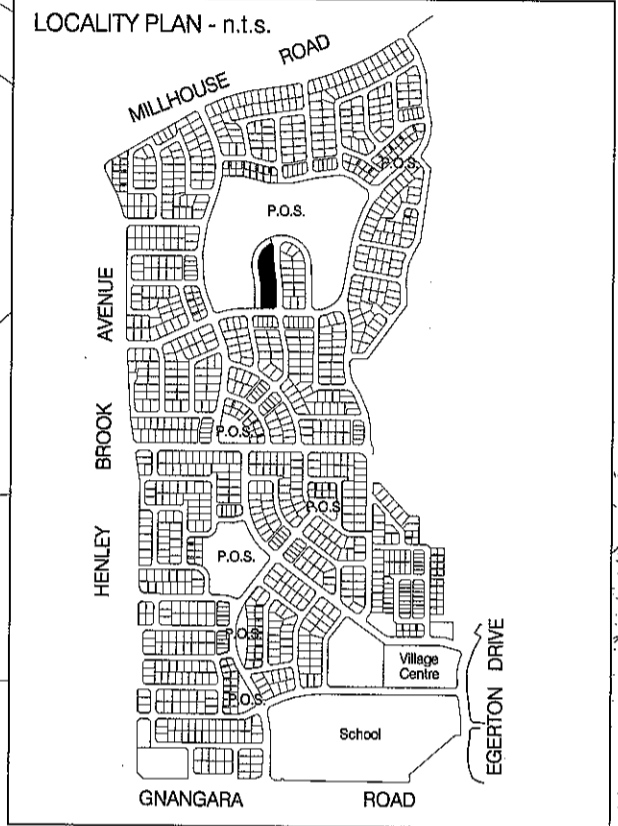


**LEGEND**

-  Building envelope boundary.
-  Building envelope area.
-  Designated garage location.
-  Nominated nil side setback location.
-  No vehicular access permitted.
-  Designated driveway location. Reciprocal Rights of Access easement on Certificate of Title to ensure access.

**CITY OF SWAN**  
**Planning Information**  
 ECM Doc Set ID: 5131456  
 Approval Date: 8/08/2008

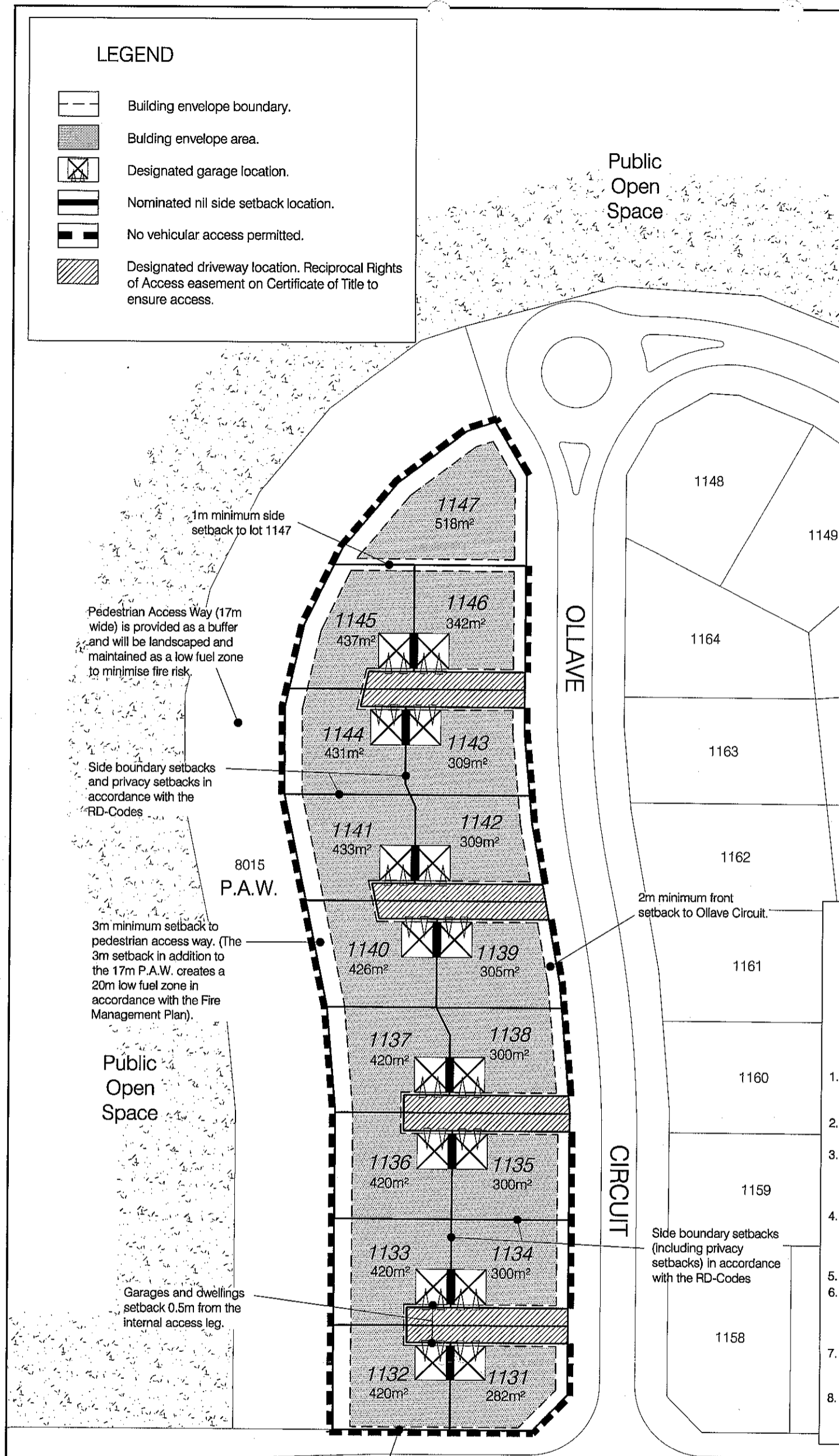
*Disclaimer:*  
 The City makes every attempt to keep its published records up to date; however the subject document may have been superseded by a more recently approved document.



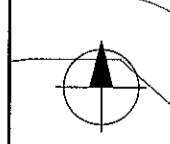
**DETAILED AREA PLAN RD-CODE VARIATIONS**

All dwellings & outbuildings are to be located within the building envelopes. The District ~~Local~~ Planning Scheme and RD-Codes are varied in the following manner. All other requirements of the RD-Codes and District ~~Local~~ <sup>local</sup> Planning Scheme shall be satisfied.

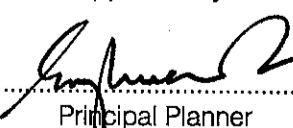
1. Consultation with adjoining or other landowners to achieve a variation of the RD-Codes, in accordance with the approved Detailed Area Plan, is not required.
2. Density coding is R-30 (Refer Development Plan One Density Site Plan).
3. Maximum site cover of 60% applies to lots fronting Ollave Circuit (Lots 1131, 1134, 1135, 1138, 1139, 1142, 1143 and 1146). Where an outdoor living area of greater than 30m<sup>2</sup> is provided, a maximum site cover of 65% is permitted.
4. Maximum site cover of 55% applies to lots directly adjoining the pedestrian access way (Lots 1132, 1133, 1136, 1137, 1140, 1141, 1144 and 1145). Where an outdoor living area of greater than 30m<sup>2</sup> is provided, a maximum site cover of 60% is permitted.
5. Site cover for Lot 1147 as per RD-Codes.
6. The elevation of the dwellings shall address the primary and secondary streets and the pedestrian access way through the use of major openings, front verandahs, porches and outdoor living areas.
7. Side elevations of dwellings are encouraged to address the internal access leg through the use of major openings and architectural features.
8. Manoeuvring space is required beyond garages to ensure vehicles exit in forward gear.



WISTFUL PARADE



16 MAY 2008  
 APPROVED

Approved by the City of Swan  
  
 Principal Planner  
 Date: 08/08/08

**FOUR PACK LOTS - DETAILED AREA PLAN No. 24**  
**LOTS 1131-1147 OLLAVE CIRCUIT - VALE, AVELEY**  
**CITY OF SWAN**



**CHAPPELL** DATE: 31.05.06  
**LAMBERT** REVISED: 05.05.08  
**EVERETT** SCALE: 1:750 (A3)  
 COMPILED: CLE, MAPS  
 PLAN No.: 995-159C

THIS PLAN IS CURRENT & CORRECT AT THE DATE OF ISSUE & IS SUBJECT TO SURVEY & ENGINEERING DETAIL. THIS PLAN REMAINS THE PROPERTY OF CHAPPELL LAMBERT EVERETT ©.

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