

CITY OF SWAN
Planning Information
 ECM Doc Set ID: 5131960
 Approval Date: 6/03/2007
 Disclaimer:
 The City makes every attempt to keep its published records up to date; however the subject document may have been superseded by a more recently approved document.

LEGEND

No vehicular access permitted.

DETAILED AREA PLAN RD-CODE VARIATIONS

The District Town Planning Scheme and RD-Codes are varied in the following manner. All other requirements of the RD-Codes and District Town Planning Scheme shall be satisfied.

- Density coding is R-20 (Refer Development Plan One Density Site Plan).
- The front elevation of the dwellings shall address the primary streets Amethyst Parkway (Lot 1473) and Nouveau Turn (Lots 1451-1455) through the use of major openings, front verandahs, porches and outdoor living areas.

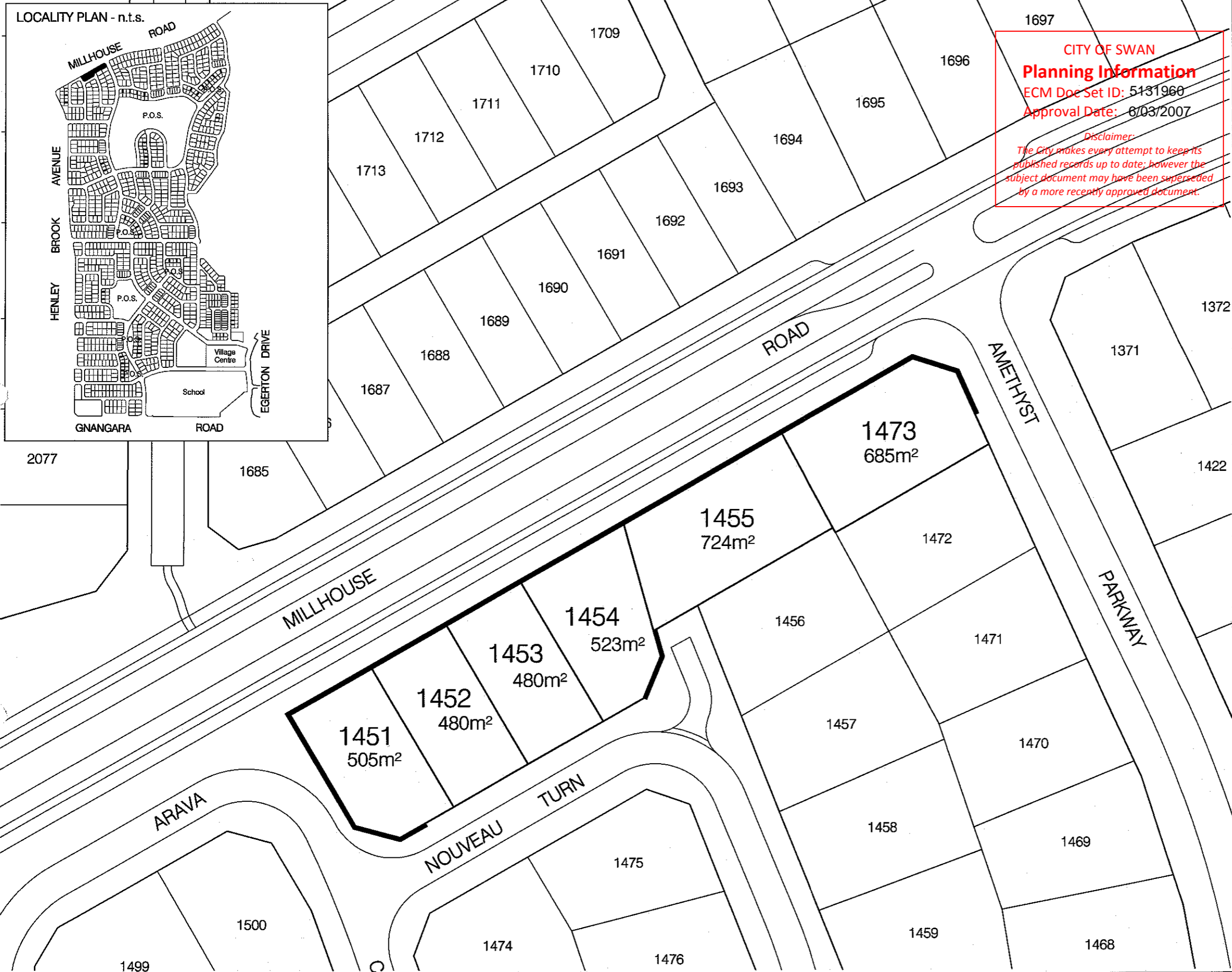
CITY OF SWAN
 28 NOV 2006
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Approved by the City of Swan

Principal Planner

6/03/07
 Date



DETAILED AREA PLAN No. 28
LOTS 1451-1455 & 1473 MILLHOUSE ROAD, AVELEY
CITY OF SWAN

The Millhouse Road layout shown is indicative only and is subject to Council approval.



CHAPPELL
LAMBERT
EVERETT
 TOWN PLANNING + URBAN DESIGN

DATE: 10.10.06
 REVISED: 23.11.06
 SCALE (A3): 1:750
 DATA: CLE, MAPS
 PLAN No.: 995-214A