

CITY OF SWAN  
**Planning Information**  
 ECM Doc Set ID: 3706524  
 Approval Date: 25/07/2016  
 Disclaimer:  
 The City makes every attempt to keep its published records up to date; however the subject document may have been superseded by a more recently approved document.

### RESIDENTIAL DESIGN CODE VARIATIONS

- The provisions contained in this Local Development Plan (LDP) constitute variations to the deemed-to-comply requirements of the Residential Design Codes (R-Codes) and development standards of the Local Planning Scheme No. 17 (LPS 17) and any relevant planning policies effective under the LPS 17. Where there is a conflict between the requirements of the R-Codes and the LDP provisions, the LDP provisions shall prevail. The requirements of the R-Codes and LPS 17 shall be satisfied in all other matters.
- The LDP provisions apply to all lots as shown within the LDP boundary.
- Consultation with neighbouring and/or nearby landowners to achieve a variation to the R-Codes in accordance with the provisions of this LDP will not be required.
- Minor variations to the requirements of the R-Codes and to the provisions of this LDP may be approved by the City of Swan.
- The density code for each lot is as per the prevailing R-Code Plan.
- Minimum street setbacks stipulated in this LDP are not permitted to be reduced, including where a compensating open area behind the street setback is provided for the purposes of clause 5.1.2 C2.1iii (refer Figure 2a) of the R-Codes.

### Lot Boundary Setbacks

- Where the vehicular access to a dwelling is provided from the secondary street; garage walls may be built up to a maximum of two (2) lot boundaries behind the street setback line for an unlimited length provided the boundary wall does not exceed a maximum height of 3.5m.

### Setback of Garages

- Garages shall be setback a minimum of 4m from the primary street where an existing or planned footpath or shared path will be located more than 0.5m from the lot boundary. A minimum garage setback of 4.5m shall apply in all other cases.
- Garages shall be setback a minimum of 1m from the secondary street.

### Street Fences

- Front fences within the street setback area shall be not more than 1.6m in height above natural ground level, and visually permeable in front of at least one major opening and for an aggregate area at least one-third the surface area of that portion of fence within the street setback area.
- Fences within the street setback area shall be uniform in style, material, and dimension across lot boundaries and shall match or otherwise coordinate with street fencing on any abutting lot(s) subject to this LDP.

### Visual Privacy

- Visual Privacy requirements of the R-Codes do not apply to the area of the lot(s) between the primary street boundary and a dwelling, except where this area either partially or wholly contains the only outdoor living area for that dwelling.

### Utilities and Facilities

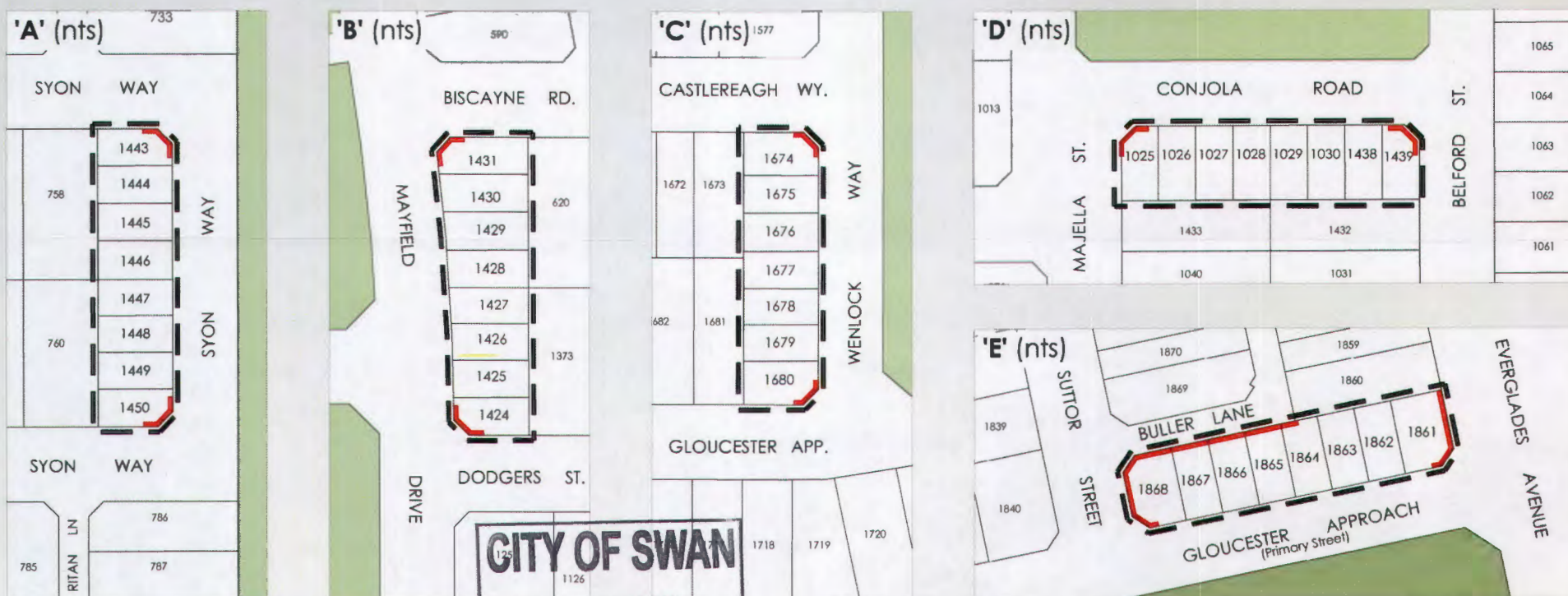
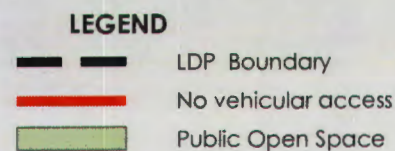
- Each dwelling shall be provided with an enclosed, lockable storage area accessible from outside the dwelling, with a minimum dimension of 1m and minimum internal area of 4m<sup>2</sup>.

### Overshadowing

- The overshadowing limits of the R-Codes do not apply to the lot(s) subject to this LDP. Overshadowing of any other adjoining lot not subject to this LDP shall not exceed 50% of the site area.

### Parking and Vehicular Access

- A minimum of one (1) on-site car parking space shall be provided for each dwelling where vehicular access to that dwelling is provided from the secondary street.
- No vehicle access shall be permitted within 3m of a corner boundary truncation and/or as otherwise depicted on this LDP (not to scale).



CITY OF SWAN  
 11 JUL 2016  
 RECEIVED



This Local Development Plan has been adopted by Council and signed by the Manager / Coordinator - Statutory Planning.

Manager, Planning Services... *[Signature]* Date: 25/07/16  
 City of Swan C.o.S. Ref: DAP213/A