

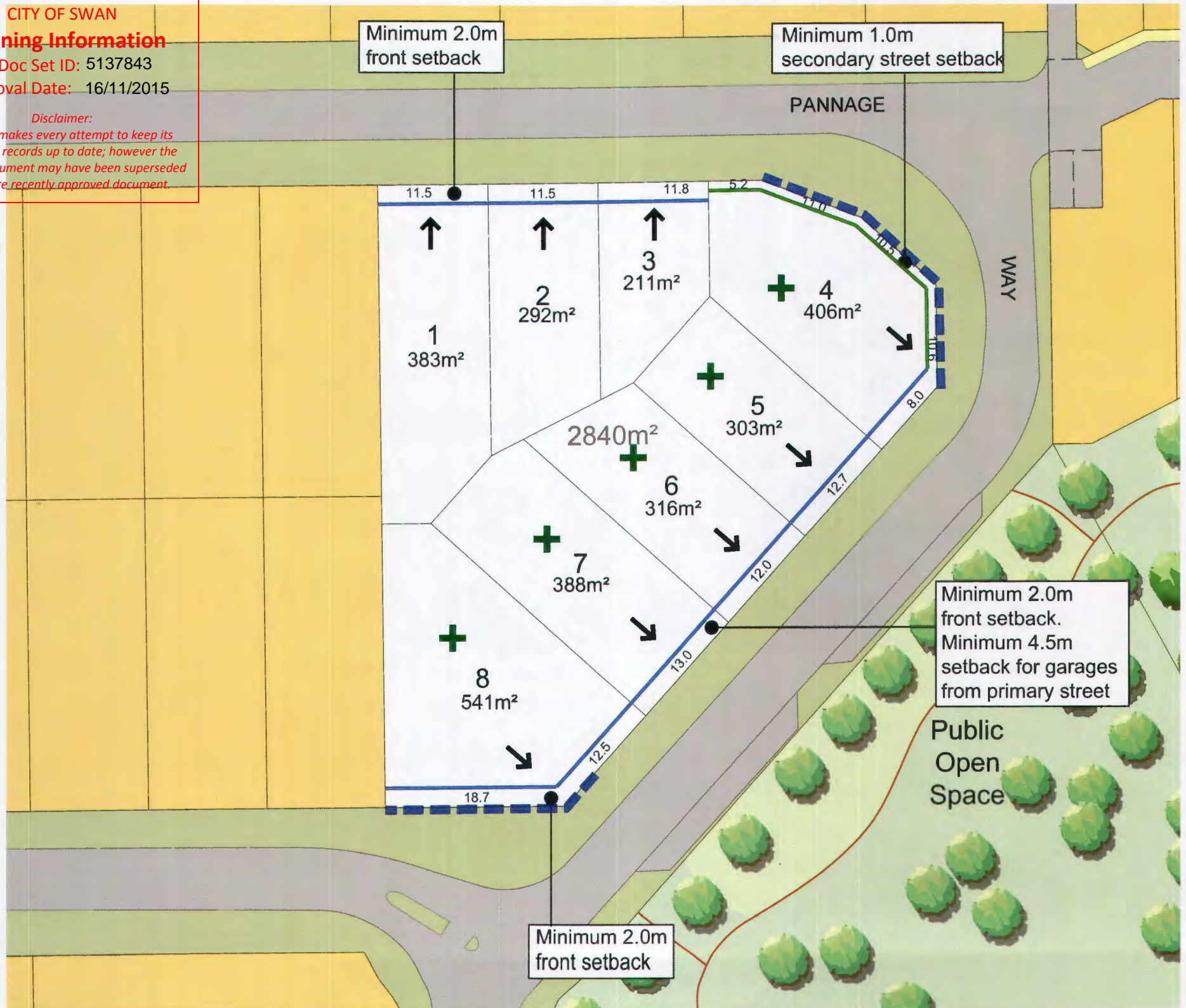
Planning Information

ECM Doc Set ID: 5137843

Approval Date: 16/11/2015

Disclaimer:

The City makes every attempt to keep its published records up to date; however the subject document may have been superseded by a more recently approved document.



DETAILED AREA PLAN VARIATIONS TO THE RESIDENTIAL DESIGN CODES

The provisions outlined in this Detailed Area Plan (DAP) constitute variations to the requirements of the Residential Design Codes (R-Codes) and Local Planning Scheme No. 17 (LPS 17). The requirements of the R-Codes and LPS 17 shall be satisfied in all other matters. Consultation with neighbouring and/or nearby landowners to achieve a variation to the R-Codes in accordance with the provisions of this DAP will not be required. Minor variations to the provisions of this DAP may be approved by the City of Swan.

The minimum primary street setback stipulated in this DAP is not permitted to be reduced, including where a compensating open area behind the street setback is provided.

The density code for each lot is as per the prevailing Residential Code Plan.

1) Minimum Street setbacks

- a) Primary street setback minimum 2.0m with and minimum 1.5m to porch/veranda, no maximum length.
- b) Secondary street setback minimum 1.0m, except for Lot 8 where the minimum secondary street setback is 2m.

2) Minimum Lot Boundary Setbacks

- a) Boundary setback minimum 1.2m for wall height 3.5m or less with major openings.
- b) Boundary setback minimum 1.0m for wall height 3.5m or less without major openings.

3) Buildings on Boundary Setbacks

- a) Boundary walls are permitted to both side boundaries subject to (i) no maximum length to one side boundary and (ii) two thirds maximum length to second side boundary for wall height 3.5m or less.

4) Front Fences

- a) Front fences within the primary street setback area shall be a maximum height of 900mm above natural ground level, measured from the primary street side of the front fence.

5) Garages

- a) Primary street setback minimum 4.5m, which may be reduced to 4.0m where an existing or planned footpath or shared path is located more than 0.5m from the street boundary.
- b) Secondary street setback minimum 1.5m.

6) Open Space

- a) An outdoor living area (OLA) to be provided with an area of 10% of the lot size or 20m², whichever is greater, directly accessible from a habitable room of the dwelling and located behind the street setback area.
- b) At least 70% of the OLA must be uncovered and includes areas under eaves which adjoin uncovered areas.
- c) The OLA shall have a minimum 3.0m length or width dimension.
- d) Apart from the above, no other R-Code site cover standards apply.

7) Visual Privacy

- a) Clause 5.4.1 (C1.1) of the R-Codes applies, however, the setback distance is 3.0m to bedrooms and studies, 4.5m to major openings to habitable rooms other than bedrooms and studies and 6.0m to unenclosed outdoor active habitable spaces.

8) Overshadowing

- a) No maximum overshadowing for wall height 3.5m or less.
- b) No maximum overshadowing for wall height greater than 3.5m where overshadowing is confined to the front half of the lot.
- c) If overshadowing intrudes into rear half of the lot, shadow cast shall not exceed 35%.

9) Bushfire Management

- a) Lots subject of this DAP are subject to an approved Fire Management Plan (FMP) and have been assigned a bushfire attack level as noted on this DAP. Dwellings and incidental structures constructed on the lots shall be constructed in accordance with AS3959-2009 (or equivalent), and shall comply with any additional planning and built form controls as specified in the approved FMP, which is available from the City of Swan offices for viewing.

This Detailed Area Plan (DAP-305) has been adopted by Council and signed by the Manager/Coordinator of Planning Services:

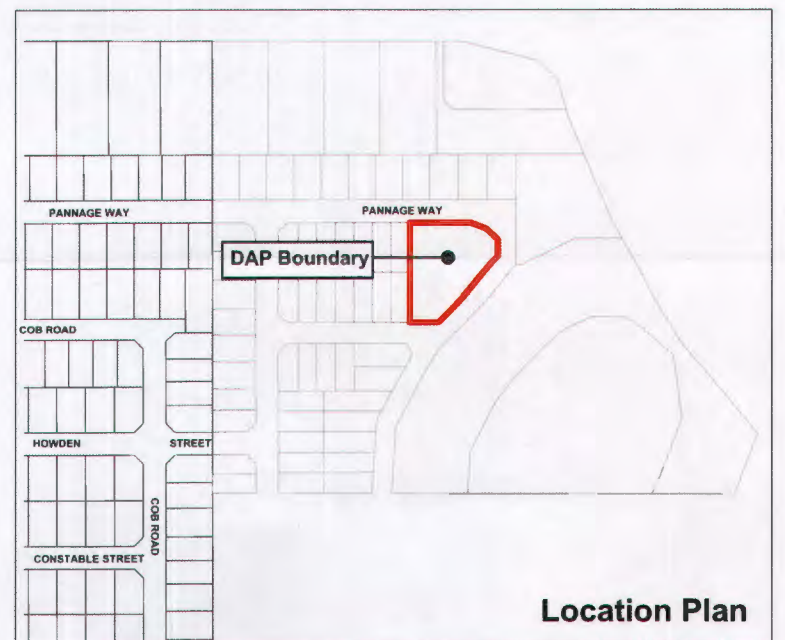
Manager/Coordinator Statutory Planning

Date 16/11/15

DAP Ref DAP-305

LEGEND

- ↓ Primary orientation of dwelling
- No vehicle access
- + Bushfire attack level (BAL) 12.5
- 2m setback
- 1m setback



Location Plan

Avonlee
BRABHAM

DETAILED AREA PLAN
LOTS 1 - 8 PANNAGE WAY
BRABHAM

whelans
TOWN PLANNING