

LOCAL DEVELOPMENT PLAN 3

Flamewood Estate



LOCAL DEVELOPMENT PLAN PROVISIONS

PRELIMINARY

Unless provided for below, the provisions of the City of Swan Local Planning Scheme No.17, the Brabham Local Structure Plan 3B, the Residential Design Codes Volume 1 (R-Codes) and POL-P-11 Variation to deemed-to-comply requirements of the R-Codes - Medium-density single house development standards (R-MD Codes) apply.

This LDP operates in conjunction with the requirements to the R-Codes and R-MD Codes by applying additional controls or by varying 'Deemed-to-comply' requirements. Where this LDP varies any requirements of the R-Codes or R-MD Codes, compliance shall be deemed to constitute 'Deemed-to-comply' and neighbour consultation with respect to those items is not required.

The density code for each lot is as per the approved R-Code Plan.

PUBLIC OPEN SPACE INTERFACE

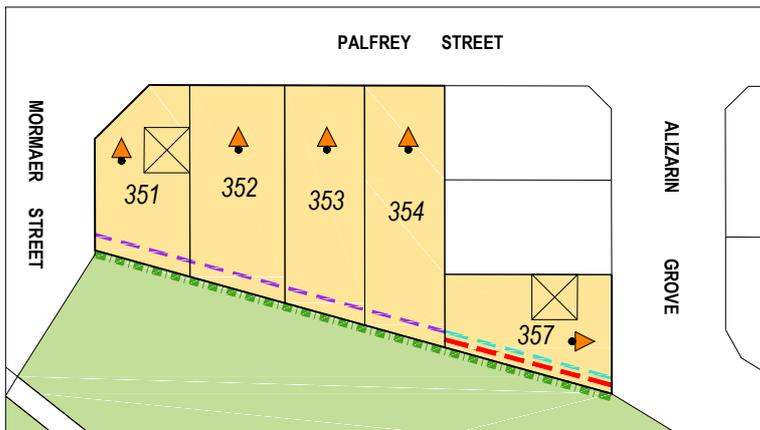
- Buildings shall be setback a minimum distance of 2 metres from the POS boundary where identified on this LDP.
- Buildings shall be setback an average distance of 2m from side boundaries abutting POS where identified on this LDP.
- Buildings shall be setback a minimum distance of 1m from side boundaries abutting POS where identified on this LDP.
- Fencing along boundaries abutting POS shall have a maximum height of 1.8m and be visually permeable (as defined under the R-Codes) more than 1.2m above natural ground level, where identified on this LDP.
- Each dwelling shall have a minimum of one major opening that has clear view of the public open space.
- Enclosed, non-habitable structures such as storage sheds are only permitted where visible from the POS if attached to the dwelling and constructed of the same materials as the dwelling. Unenclosed, non-habitable structures such as gazebos, patios and pergolas are exempt from this provision.
- All clothes drying areas shall be screened from the POS.

DWELLING ORIENTATION

- Primary dwelling orientation shall be provided as identified on this LDP.

LOT 351

- A crossover with a maximum width of 3m shall be provided to Palfrey Street.
- Where a double garage is proposed to Palfrey Street, it shall be provided in the location shown on this LDP.
- Where a double garage is proposed, a minimum setback of 5.1m shall be provided to the primary street (Palfrey Street). Garages shall be setback a minimum of 0.5m behind the building alignment as per the R-MD Codes.
- Where a single garage is proposed, a minimum setback of 5.5m shall be provided to the primary street (Palfrey Street). Tandem garages shall be setback in accordance with the R-MD Codes.



LEGEND

- R30
- POS
- Primary Dwelling Orientation
- Visually Permeable Fencing
- Solid Fencing
- 2.0m Rear Setback
- 2.0m Average Side Setback
- Minimum 1.0m Side Setback
- Garage Location

CITY OF SWAN
Planning Information
 ECM Doc Set ID: 6270393
 Approval Date: 10/03/2021
Disclaimer:
 The City makes every attempt to keep its published records up to date; however the subject document may have been superseded by a more recently approved document.



CLE Town Planning + Design

This Local Development Plan has been approved by the City of Swan under Schedule 2, Clause 52(1)(a) of the *Planning and Development (Local Planning Schemes) Regulations 2015*.

Patricia Wojcik

LDP/37/2021
10 Mar 2021

DELEGATED OFFICER, STATUTORY PLANNING Date

This plan has been prepared for general information purposes only and uses potentially uncontrolled data from external sources. CLE does not guarantee the accuracy of this plan and it should not be used for any detailed site design. This plan remains the property of CLE.