

AMENDED DETAILED AREA PLAN

- STAGE 1

Taylor Private Estate,
CAVERSHAM

DETAILED AREA PLAN PROVISIONS

Design Elements

The following matters apply, where required, in the design and construction of a residence or outbuilding on lots identified within the boundary of this D.A.P.:

- All dwellings must include construction of a garage suitable for 2 cars.
- Two-storey development is permitted on all lots and must comply to second storey setbacks according to the R-Codes.

R Coding

The Residential Density Code of R20 & R30 applies to all lots in the DAP area as shown.

R Code Variations

The provisions of the Detailed Area Plan (DAP) both constitute Residential Design Codes (R-Codes) 'Acceptable Development' provisions and development standards under the City of Swan Local Planning Scheme. Where there is a conflict between the R-Codes and the DAP provisions, the DAP provisions shall prevail. Compliance with the DAP 'Acceptable Development' provisions will not require consultation with adjoining and/or nearby landowners.

Vehicle Access

All R30 Lots to have vehicle access from rear laneway.

Setbacks

Setbacks for the construction of improvements upon the land will not be other than in accordance with the following:

R20 Lots

Front: 3.0 metre minimum dwelling setback
4.0 metre average dwelling setback
4.5 metre minimum garage setback

Sides: As per the R-Codes

Secondary Street: As per the R-Codes

R30 Lots

Front: 2.0 metre minimum dwelling setback
3.0 metre average dwelling setback

Rear/Laneway: 2.0 metre minimum dwelling setback
1.5 metre minimum garage setback

Sides: As per the R-Codes

Secondary Street: As per the R-Codes

- * 3.0 metre minimum and 4.0m average dwelling setback applies.

Home Size / Site Coverage

Home size means the area between the external walls located under the main roof of the Residence but excludes the area of any alfresco, balcony, garage, outbuilding, patio, pergola, workshop or veranda.

R20

All houses must be a minimum size of 170m². Minimum Open Space required is 45% of the lot.

R30

All houses must be a minimum size of 140m². Minimum Open Space required is 40% of the lot.

Outbuildings and Studios

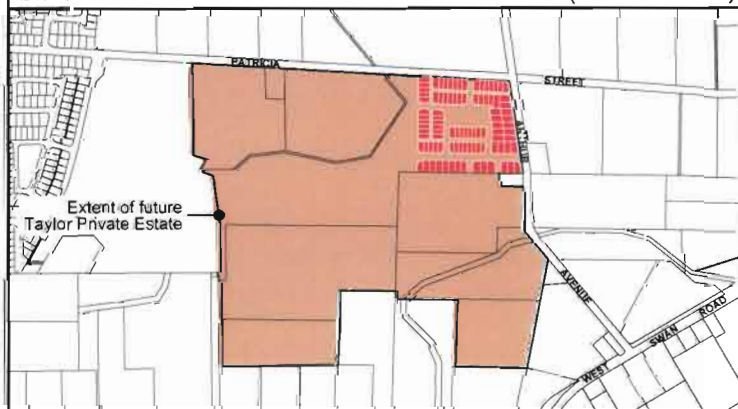
Outbuildings and Studios for R30 lots may be 2 storeys in accordance with Table 3 of clause 3.7.1 of R Codes to ensure activation and passive surveillance of laneways.

Estate Fencing

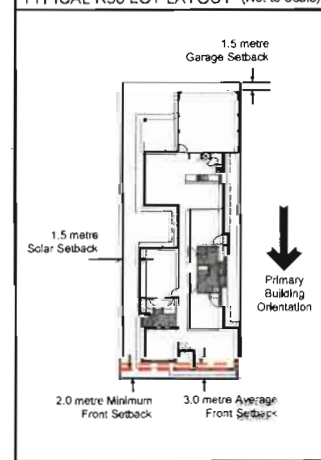
All side fencing forward of the building line is to be permeable or semi permeable to match the front fence. Fencing fronting the streetscape not installed by the developer shall comply with the requirements of the Taylor Private Estate Design Guidelines (as amended).

LOCATION PLAN

(Not to Scale)



TYPICAL R30 LOT LAYOUT (Not to Scale)



Future School Site Oval

8101 Public Open Space

201

3

202

14



LEGEND

- Detailed Area Plan Boundary
- Preferred Zero Lot Line Boundary
- Non-Permeable Fencing (Subject to location of garage)
- Semi-Permeable Fencing
- No Vehicle Access
- 2.0m Minimum Front Dwelling Setback
- 3.0m Average Front Dwelling Setback
- 3.0m Minimum Front Dwelling Setback
- 4.0m Average Front Dwelling Setback
- Primary Building Envelope (R20)
- Primary Building Envelope (R30)
- Building Orientation
- Orientation of Mandatory Habitable Room
- Mandatory Garage Location

Lightway Holdings Pty Ltd	: CLIENT
1:1500@A3 / 1:750@A1	: SCALE
16 April 2012	: DATE
2435_15-4-001a.dgn	: PLAN No
a	: REVISION
R.D.	: PLANNER
R.F.	: DRAWN
N.T.	: CHECKED

Base data supplied by Landgate
Accuracy +/- 4m, Projection MGA Zone 50

Areas and dimensions shown are subject to final survey calculations.
All cartways are shown for illustrative purposes only and are subject to detailed engineering design.

CITY OF SWAN
Planning Information
ECM Doc Set ID: 5145670
Approval Date: 17/07/2012

Disclaimer:
The City makes every attempt to keep its published records up to date; however the subject document may have been superseded by a more recently approved document.

CITY of SWAN
AMENDED APPROVED PLAN

No. 1 of 1
Ref: DAP152/RS
This Amended Plan dated 27/4/2012
is to be read in conjunction with the original approved plan dated 15/12/2010

Co-ordinator, Statutory Planning

RPS

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