



DETAILED AREA PLAN R-CODE VARIATIONS

GENERAL

1. The provisions of this Detailed Area Plan (DAP) constitute both Residential Design Codes (RD-codes) 'Deemed-to-comply' provisions and development standards under the City of Swan Local Planning Scheme and other City of Swan Policies and Guidelines. Where there is a conflict between the RD-codes and the provisions of this DAP, the DAP provisions shall prevail.
2. Compliance with the DAP 'Deemed-to-comply' provisions will not require consultation with adjoining and/or nearby landowners.
3. All lots subject to this DAP have a density coding in accordance with the Caversham Structure Plan ODP150.

SETBACKS

4. For lots with a frontage of 10m or less, boundary walls are permitted to both side boundaries of the ground floor;
5. Where a nil side setback is not proposed, side setbacks shall be as per the RD-codes;
6. For lots 1285, 1298, 1299 and 1313, a nil setback to the side boundary on the ground floor is permitted as shown on the DAP;
7. There is no average front setback requirement for all lots subject of this DAP.

OPEN SPACE AND OUTDOOR LIVING

8. For lots coded R25 minimum open space site coverage of 35% is applicable. For lots coded R35 minimum open space site coverage of 30% is applicable.
9. For lots coded R35 a minimum outdoor living area of 20m² with a minimum dimension of 4m shall be provided.

VEHICULAR ACCESS

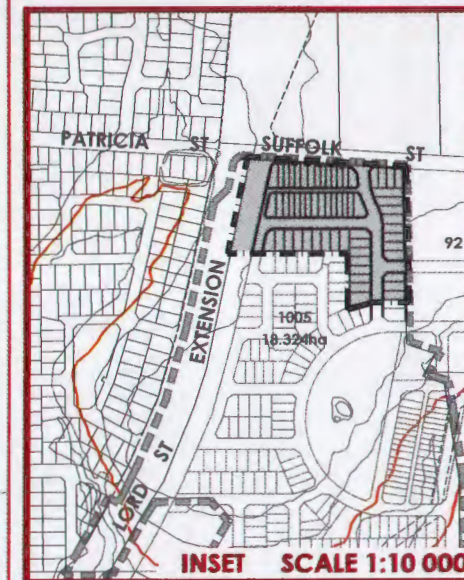
10. No vehicular access is permitted across property boundaries in locations depicted on this DAP.

DWELLING ORIENTATION

11. All corner lots must be designed with habitable room windows facing the secondary street.

LANEWAY LOTS

12. For laneway lots, a bin pad (1.5m wide x 1m deep) shall be provided at a nil setback from the laneway. Bin pads are to be designed as per City of Swan requirement and fencing is not to obstruct the designated bin pad area.



LEGEND

- DETAILED AREA PLAN AREA
- Minimum 1.0m Setback
- Minimum 2.0m Setback
- Minimum 3.0m Setback
- Prescribed Nil Setback
- No Vehicular Access
- Designated Garage Location
- Steps & Retaining Wall
- Dwelling Orientation

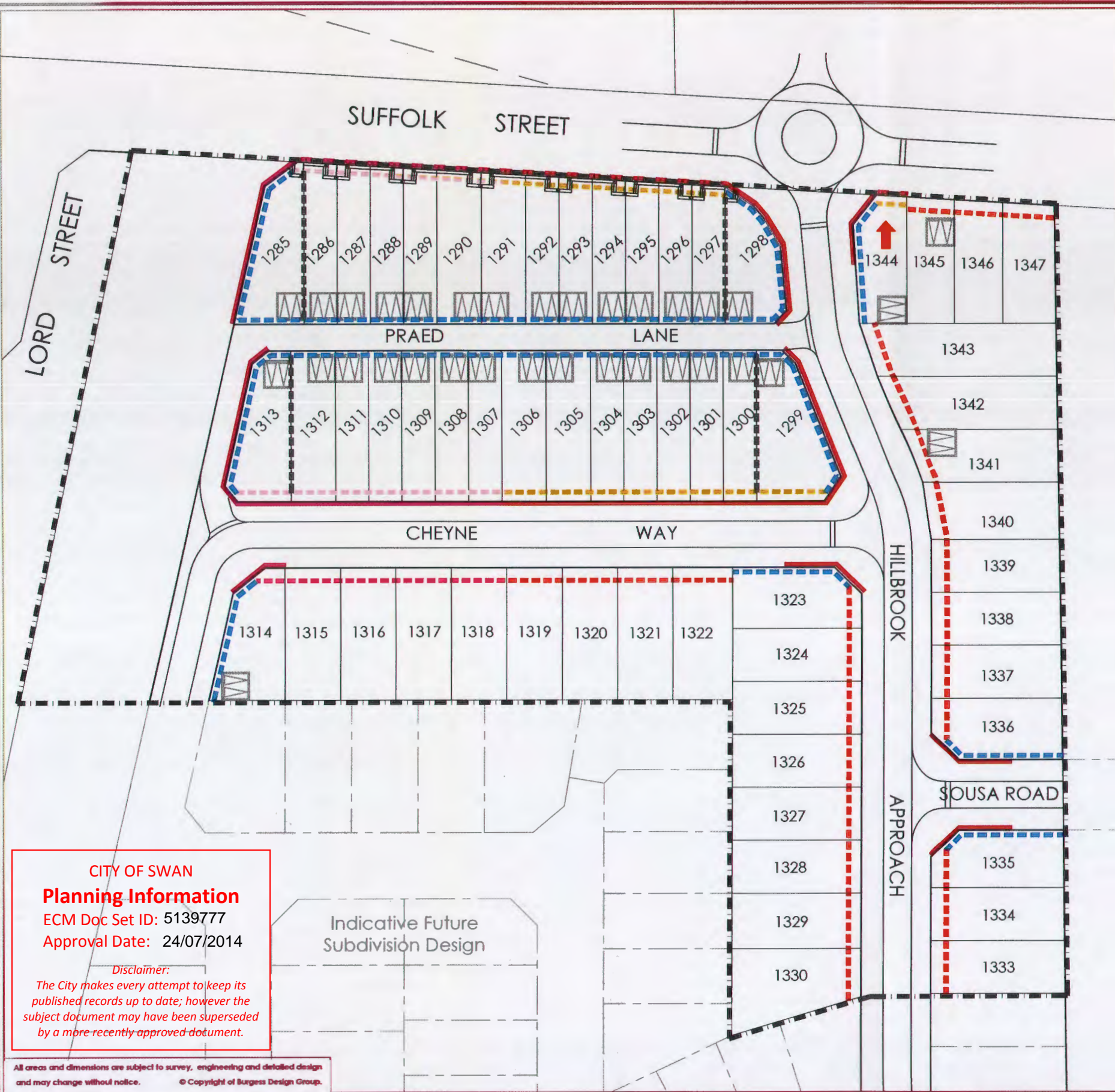
Endorsed by:

Manager Statutory Planning
 City of Swan

24 JUL 2014

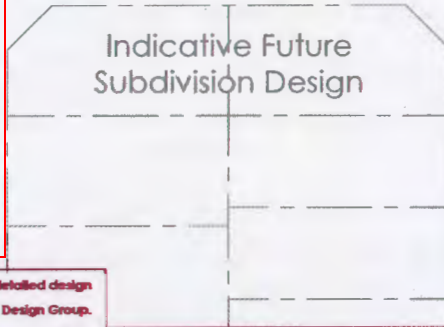
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City of Swan Reference No: ..DAP 228/A

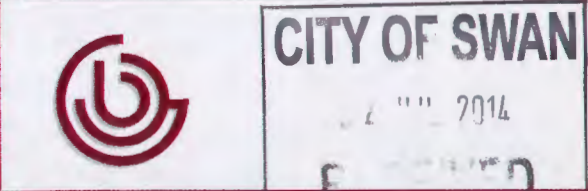


CITY OF SWAN
Planning Information
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Disclaimer:
 The City makes every attempt to keep its published records up to date; however the subject document may have been superseded by a more recently approved document.



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DETAILED AREA PLAN
STAGE 1A
LOT 1005 SUFFOLK ST, CAVERSHAM
CITY OF SWAN