

PARADE

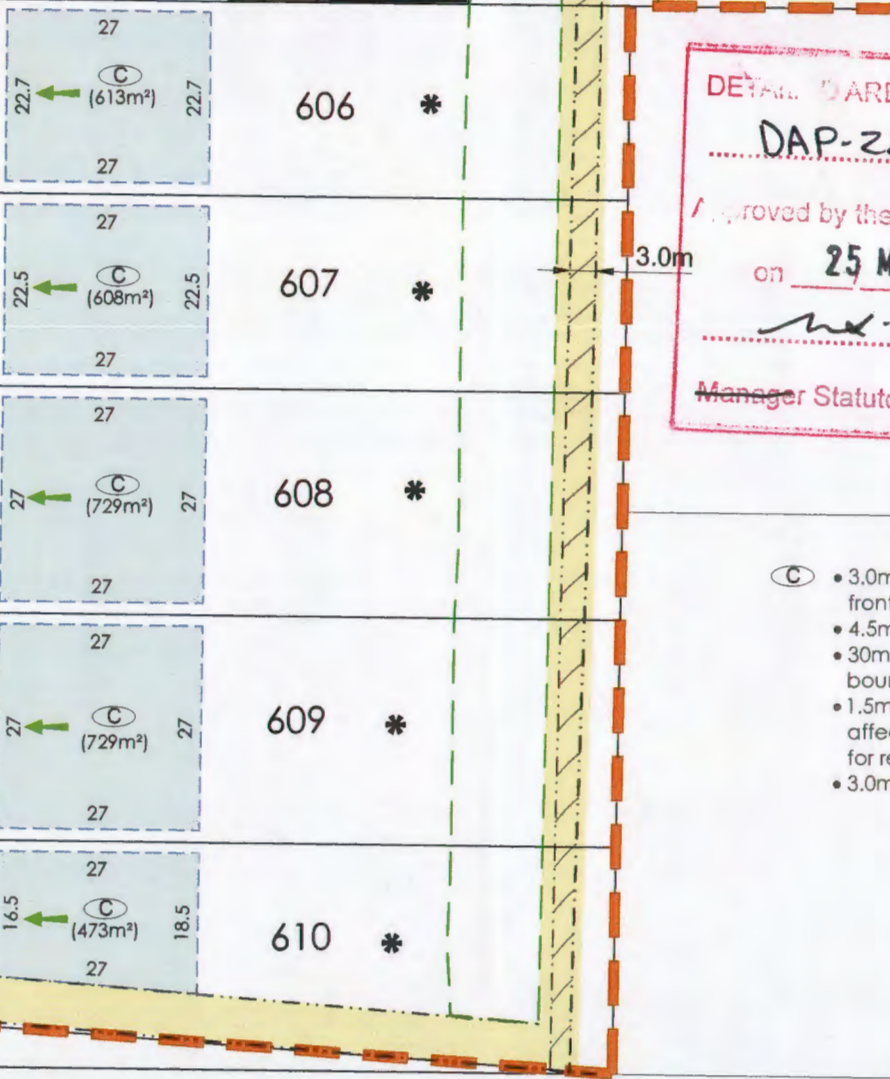
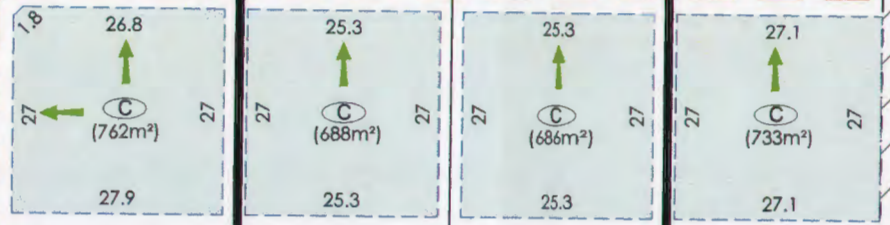
ROLLO WAY

ALBILLO

NIABELL ROAD

LOOP

AVANA



DETAILED AREA PLAN No:
DAP-229/A
 Approved by the City of Swan
 on **25 MAR 2015**
[Signature]
 Manager Statutory Planning

- ⊙ 3.0m min - 8.0m max main dwelling front setback
- 4.5m min garage front setback
- 30m max. setback from front boundary
- 1.5m min. side setback (unless affected by easement - refer to plan for required setbacks)
- 3.0m secondary street setback

LEGEND

The Local Town Planning Scheme and R-Codes are varied in the following manner:

All buildings (as defined in the R-Codes) are to be allocated within the designated building envelopes. Local Planning Scheme No. 17 and R-Codes are varied in the following manner:

1. The requirements of the R-Codes are varied as shown on the Detailed Area Plan.
2. The requirements of the R-Codes and Local Planning Scheme No. 17 shall be satisfied in all other matters.
3. Consultation with adjoining or other landowners to achieve a variation of the R-Codes, in accordance with the approved Detailed Area Plan, is not required.
4. 'Primary dwelling orientation' - at least one 'major opening' (as defined by the R-Codes) having clear view of the street and approach to the dwelling.
5. The purchaser shall be required to maintain the noise bund/wall and artificial permanent barrier to the specification and satisfaction of Council. A copy of the Caversham LSP and Transition Lot Management Plan is available at the City of Swan Council Offices.
6. A veranda (subject to Building Code of Australia) may project not more than 1 metre into the front setback area.
7. Minor variations to the requirements of the Residential Design Codes and this DAP may be approved by the City of Swan.
8. Lots 602-610 are subject of an approved Transition Lot Management Plan. Houses constructed on these lots must comply with additional planning and built form controls as specified in the Transition Lot Management Plan (RPS and Lloyd Acoustics 2011 is available at the City of Swan or from the developer). These built form controls include:
 - 8.1. Habitable rooms to have forced ventilation
 - 8.2. Outdoor living area to be located, as far as practicable, from the potential noise source;
 - 8.3. External doors to be hinged 40mm solid timber core (or approved equivalent) with acoustic seals;
 - 8.4. Windows to be awning casement style with compressible foam seals, commercial grade frames and Pilkington 10.5mm Optilam Phon glass or approved equivalent.
9. Non habitable buildings are to be setback in accordance with the R-Codes
10. The width of the dwelling elevation (including garage) fronting the primary street on all lots shall be a minimum of 50% of the building envelope width fronting the same street. For Lot 605, which is a corner lot, the primary frontage is defined as that fronting Niabell Road.

LEGEND

- Subject Lots
- Dwelling Setbacks (distances vary as shown)
- Earthworks Bund (not to be altered)
- Primary Dwelling Orientation
- No vehicle access
- Lots subject to approved Transition Lot Management Plan
- 6m Strategic Access easement - No development permitted
- Main dwelling building envelope
- (729m²) Building Envelope Area
- Drainage easement - no development permitted
- Fixed crossover location
- Retaining wall

CITY OF SWAN
Planning Information
 ECM Doc Set ID: 5139857
 Approval Date: 25/03/2015

Disclaimer:
 The City makes every attempt to keep its published records up to date, however the subject document may have been superseded by a more recently approved document.

CITY OF SWAN
 19 NOV 2014
 RECEIVED

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QUBE
 PROPERTY GROUP PTY LTD

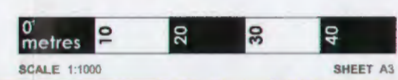


REV	DESCRIPTION	YYMMDD	DRAWN	APPR'D
I	MINOR MODS	140916	RF	RD
H	VARIOUS MODS	140908	RF	RD
G	STRATEGIC ACCESS ADDED	140828	RF	RD
F	REMOVED FIRE SERVICE EASE.	140716	RF	RD
E	TEXT MODS	130821	RF	RD
D	CROSSOVER MODS	130809	RF	RD
C	SET BACK AND LEGEND MODS.	130807	RF	RD
B	LEGEND MODIFICATIONS	130805	RF	RD

CLIENT
QUBE
 PROJECT
Caversham

DISCLAIMER: ISSUED FOR DESIGN INTENT ONLY. ALL AREAS AND DIMENSIONS ARE SUBJECT TO DETAIL DESIGN AND SURVEY.

DETAILED AREA PLAN - TRANSITION LOTS
Lots 602 - 610
 City of Swan



REFERENCE NUMBER: **QUB ZAK**
 DRAWING NUMBER: **RD1 006**
 ISSUE: **1**