

The development guidelines as shown have been adopted by Council and signed by the Principal Planner.

Principal Planner/ Co-ordinator Statutory Planning

27 MAR 2014

Date.....

CoS Ref. **DAP - 235**

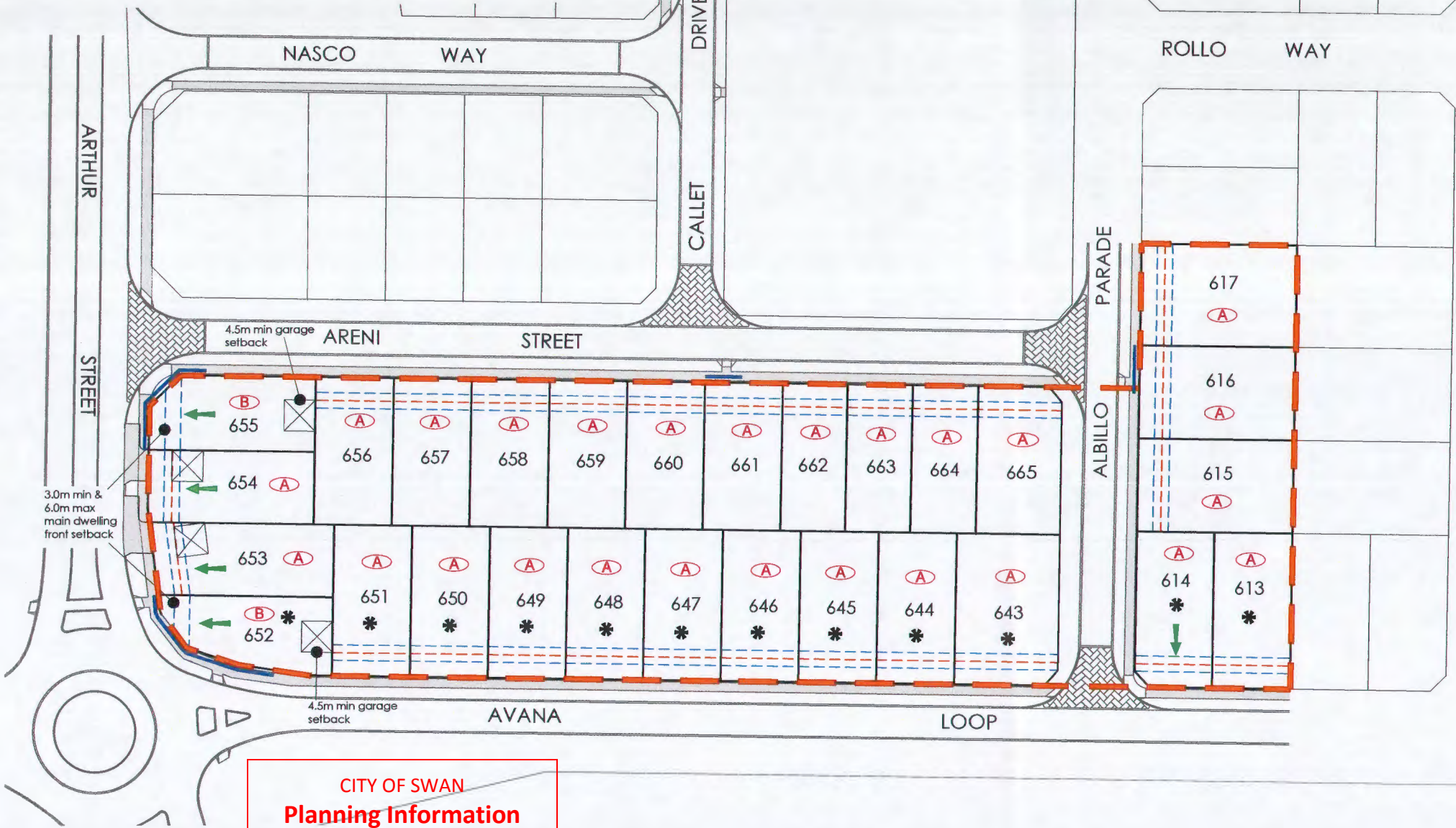
The Local Town Planning Scheme and R-Codes are varied in the following manner:

All buildings (as defined in the R-Codes) are to be allocated within the designated building envelopes. Local Planning Scheme No. 17 and R-Codes are varied in the following manner:

1. The requirements of the R-Codes are varied as shown on the Detailed Area Plan.
2. The requirements of the R-Codes and Local Planning Scheme No. 17 shall be satisfied in all other matters.
3. Consultation with adjoining or other landowners to achieve a variation of the R-Codes, in accordance with the approved Detailed Area Plan, is not required.
4. For all boundaries marked 'Primary Dwelling Orientation', at least one of the following design features should be incorporated to that frontage, being a habitable room, window or door.
5. A veranda (subject to Building Code of Australia) may project not more than 1 metre into the front setback area.
6. Minor variations to the requirements of the Residential Design Codes and this DAP may be approved by the City of Swan.
7. Lots 613,614 + 643 to 652 are subject of an approved Transition Lot Management Plan. Houses constructed on these lots must comply with additional planning and built form controls as specified in the Transition Lot Management Plan (RPS and Lloyd Acoustics 2011 is available at the City of Swan or from the developer). These built form controls include:
 - 7.1. Habitable rooms to have forced ventilation
 - 7.2. Outdoor living area to be located, as far as practicable, from the potential noise source;
 - 7.3. External doors to be hinged 40mm solid timber core (or approved equivalent) with acoustic seals;
 - 7.4. Windows to be awning casement style with compressible foam seals, commercial grade frames and Pilkington 10.5mm Optilam Phon glass or approved equivalent.

LEGEND

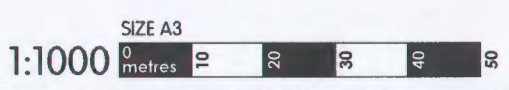
- Subject Lots
- Dwelling Setbacks (distances vary as shown)
- Garage Setbacks (distances vary as shown)
- Primary Dwelling Orientation
- No vehicle access
- Lots subject to approved Transition Lot Management Plan
- Pram Ramp and Footpath
- Designated garage location
- 3.0m min - 6.0m max main dwelling front setback
 - 4.5m min garage front setback
 - 40% min. open space coverage
- Setbacks as annotated on plan



CITY OF SWAN
Planning Information
 ECM Doc Set ID: 5140271
 Approval Date: 27/03/2014

Disclaimer:
 The City makes every attempt to keep its published records up to date; however the subject document may have been superseded by a more recently approved document.

robertsday.com.au planning-design-place



D	NO VEHICLE ACCESS TO 661	131202	RF	RD
C	NO VEHICLE ACCESS TO 616	131128	RF	RD
B	ADDED REVERSING BAY	131105	RF	RD
A	PLAN BASED ON RD1 005A	131030	RF	RD
REV	DESCRIPTION	YYMMDD	DRAWN	APPR'D

DRAFT

DETAILED AREA PLAN - STAGE 4
Proposed Lots 613-617, 643-665
 City of Swan

REF NO. **QUB ZAK** DRAW NO. **RD1 404** REV. **D**

