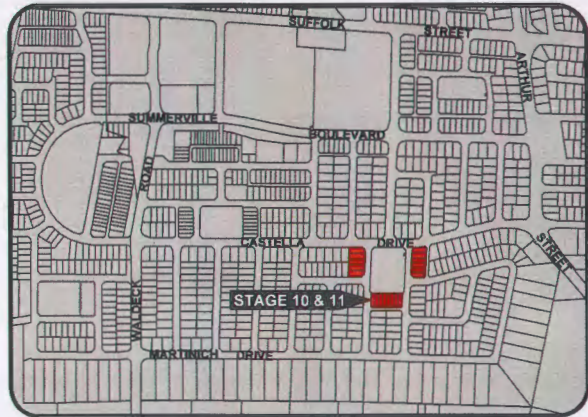


LOCAL DEVELOPMENT PLAN PROVISIONS

GENERAL PROVISIONS

1. The provisions of this Local Development Plan constitute both Residential Design Codes (R-Codes) 'Deemed-to-comply' provisions and development standards under the City of Swan Local Planning Scheme No. 17 and other City of Swan Policies and Guidelines. Where there is a conflict between the R-Codes and the provisions of this LDP, the LDP provisions shall prevail.
2. Minor variations to this LDP may be approved by the City of Swan.
3. Compliance with the LDP provisions will not require consultation with adjoining and/or nearby landowners.
4. The provisions contained within the City of Swan POL-LP-11 (variation to deemed - to - comply requirements of the R-Codes medium density single house development standards - R-MD Codes) apply to all lots subject to this LDP.
5. LOTS 1902 TO 1907 only - Boundary walls are permitted to both side boundaries up to a maximum height of two storey compliant with the maximum building height. Maximum length of boundary walls is determined by the front and rear lot boundary setbacks.
6. Mandatory Habitable Space Orientation-Dwellings on corner lots must address the secondary street by providing at least one major opening and/or one of the following architectural features: balcony, verandah, patio or other outdoor living area, facing the street.
7. Modification to the uniform visually permeable fencing, including the installation of additional screening devices or materials, is not permitted. Any maintenance and repair of the fencing must use materials that are the same or as close as possible to those used in the original construction.
8. All laneway lots must contain a paved bin pad that is a minimum of 1.5m wide and 1m deep directly abutting the laneway boundary.

LOCATION PLAN



LEGEND

- LOCAL DEVELOPMENT PLAN BOUNDARY
- PRIMARY STREET/MAJOR ENTRY (FRONT DOOR) ORIENTATION
- MANDATORY HABITABLE SPACE ORIENTATION
- NO VEHICLE ACCESS
- UNIFORM VISUALLY PERMEABLE FENCING
- MINIMUM 2M SETBACK FROM POS
- MINIMUM 1M REAR GARAGE SETBACK
- MANDATORY GARAGE LOCATION

CITY OF SWAN
Planning Information
 ECM Doc Set ID: 5876918
 Approval Date: 27/08/2020

Disclaimer:
 The City makes every attempt to keep its published records up to date; however the subject document may have been superseded by a more recently approved document.

CITY OF SWAN
 24 AUG 2020
RECEIVED

This Local Development Plan has been adopted by Council and signed by the Manager/Coordinator - Statutory Planning

Delegated Authority

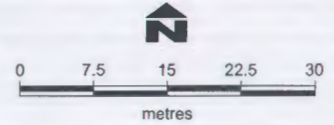
 Date: 29/8/20
 City of Swan Ref: LDP/24/2020

NOTES

Base data supplied by MAPS
 Projection PCG94
 Areas and dimensions shown are subject to final survey calculations.
 All cartageways are shown for illustrative purposes only and are subject to detailed engineering design.
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DISCLAIMER

Local Development Plan subject to final engineering design and City of Swan planning approval.



SCALE	1:750@A3
DATE	18 August 2020
PLAN NO	TPE-10_11-010
REVISION	A
DRAWN	BDL

LOCAL DEVELOPMENT PLAN - STAGE 10 & 11

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