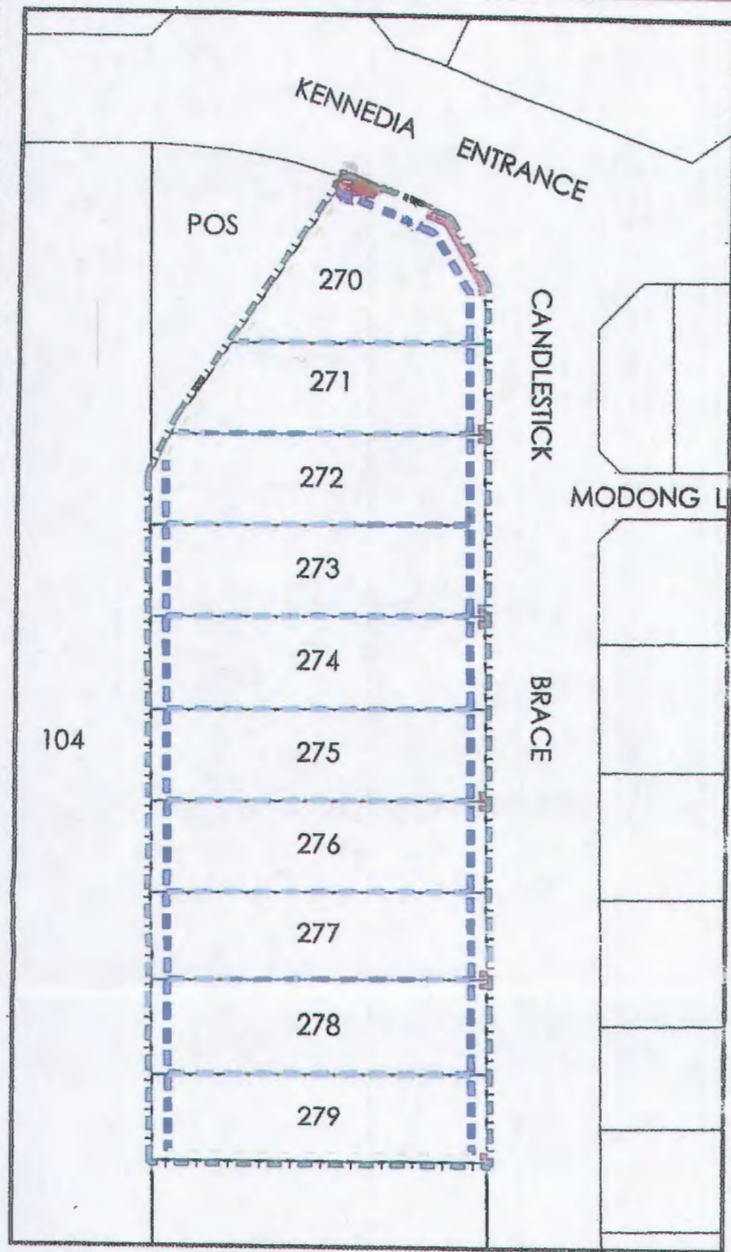


Disclaimer:
 The City makes every attempt to keep its published records up to date; however the subject document may have been superseded by a more recently approved document.

DETAILED AREA PLAN R-CODE VARIATIONS



GENERAL

1. The provisions of the City of Swan Local Planning Scheme No 17 (LPS17) and the R80 Residential Design Codes apply unless varied by this Detailed Area Plan (DAP.)
2. Variations to the R-Code provisions, in accordance with this DAP, do not require consultation with adjoining/other landowners.
3. Minor variations to the requirements of the R-Codes and the DAP may be approved by the City of Swan.

OPEN SPACE AND OUTDOOR LIVING

4. The minimum 'open space' requirement (min % of site area) is 30% for grouped dwellings. Applications with open space less than 30% are subject to Council discretion, based on the merits of the design.
5. The minimum 'Outdoor Living' area for grouped dwellings is 12.5m² with a minimum dimension of 3m.

DWELLING ORIENTATION

6. Lots 270-272 must contain at least one dwelling which has a habitable room window or balcony with a view of the abutting Public Open Space.

FENCING

7. Uniform fencing installed by the developer cannot be modified with the exception of maintenance and repair using materials that are as close as possible to those used in the original construction.

QUIET BUILDING DESIGN

8. All dwellings shall incorporate Quiet House Design Principles to mitigate external noise and achieve AS2107:2000 'satisfactory' internal noise levels. Which may include:
 - Constructed of double brick
 - Colorbond roof with enclosed eaves & R2 insulation batts
 - bedrooms & alfresco areas located away from Reid Hwy
 - bedrooms to have casement/awning windows with laminated glass
 - entrance hall with 40mm thick solid core door.
 Two storey development may require further noise modelling.

GARAGE

9. All garages must be setback a minimum of 4.5m from all Primary and Secondary Streets.

PARAPET WALLS

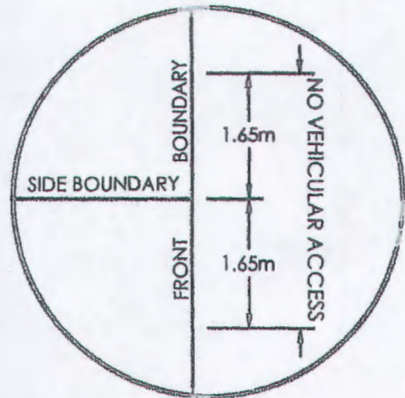
10. Parapet walls as depicted on the DAP are permitted for single storey/grouped and multiple dwellings. Single dwellings and second storeys are as per provision 6.3.2 of the R Codes.

VEHICLE ACCESS

11. No vehicle access is permitted across property boundaries as depicted on the DAP. In the case of Lots 271-279 vehicle access is restricted for a width of 1.65m from the side boundary as depicted on the DAP (refer inset).

LEGEND

- (---) Subject Area Boundary
- Minimum 2.0m Setback to Street & Rear Boundary
- Minimum 1.0m Setback to Side Boundary & POS
- Parapet Wall Permitted
- No Vehicular Access



INDICATIVE
 NO VEHICULAR ACCESS DETAIL
 SCALE 1:100
 (refer provision 11)



0 10 20 30 40 50m
 NORTH
 SCALE 1:1000 (A4)

Endorsed by:

[Signature]

11/6/2014

Date:

City of Swan

City of Swan Reference No: 202/A

DETAILED AREA PLAN

LOT 270 CANDLESTICK BRACE, DAYTON

CITY OF SWAN