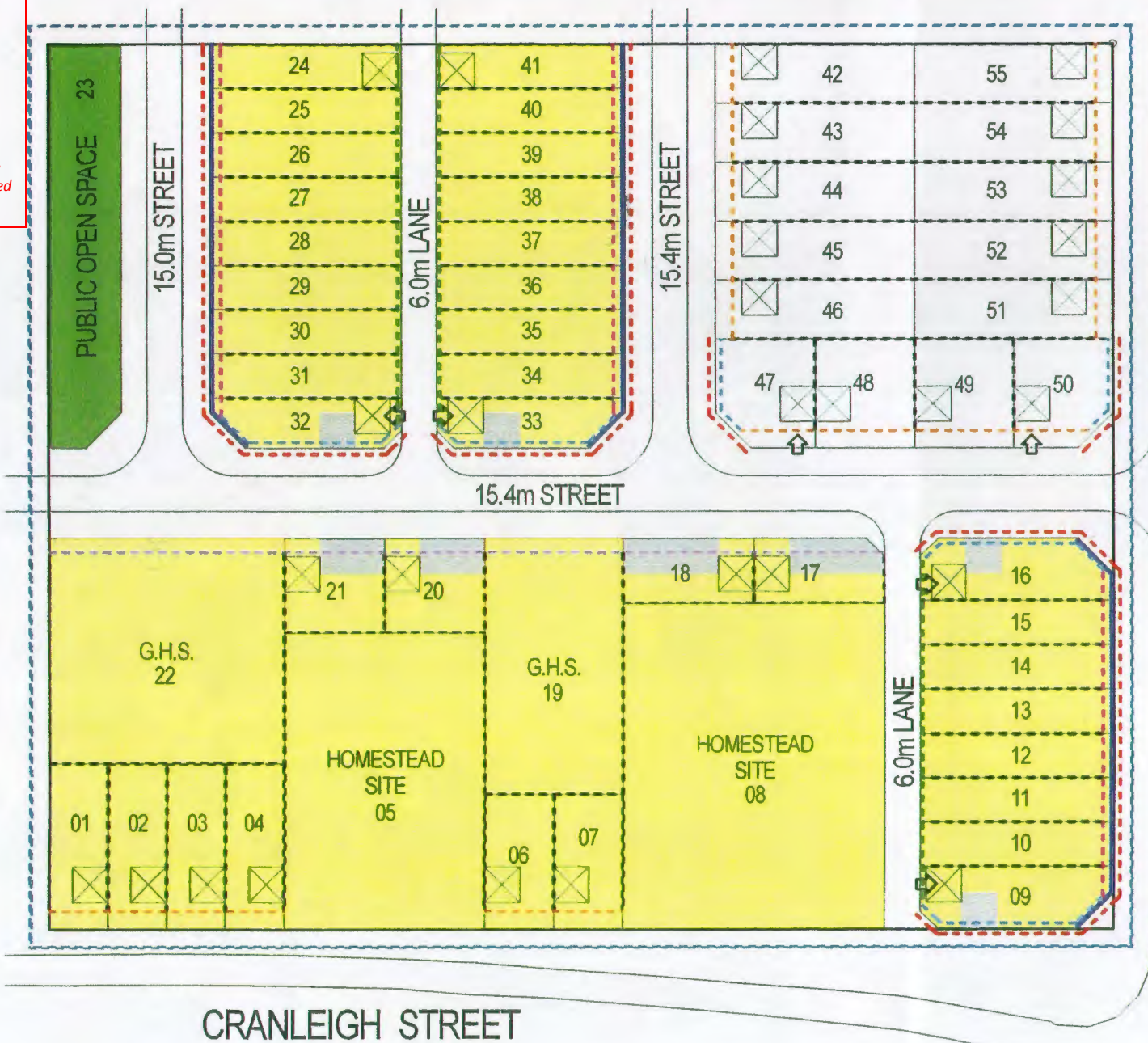
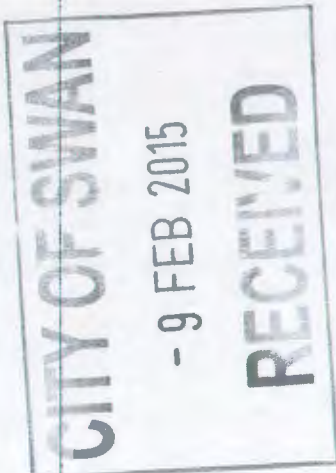


DETAILED PLAN AND R-CODE VARIATIONS

THIS DETAILED AREA PLAN REQUIRES READING IN COLOUR PRINT

CITY OF SWAN
Planning Information
 ECM Doc Set ID: 5161455
 Approval Date: 9/02/2015

Disclaimer:
 The City makes every attempt to keep its published records up to date; however the subject document may have been superseded by a more recently approved document.



ARTHUR STREET

CRANLEIGH STREET

GENERAL:

- The provisions of the City of Swan Local Planning Scheme 17 (LPS17) and the R40 Residential Design Codes (R-Codes) apply; except Lots 42 - 55 where Residential R30 applies, unless varied by this Detailed Area Plan (DAP).
- Should any discrepancy arise between the requirements of LPS17 and/or the R-Codes with this DAP, the provisions contained within the DAP prevail and/or constitute as Deemed-to-comply.
- Any variations to the provisions of the R-Codes that are in accordance with this DAP do not require advertising or consultation with any other landowner.
- Minor variations to this DAP can be addressed at Building Certification / License and may be approved by the City of Swan.
- A 'Single House', 'Grouped Dwelling' or 'Multiple Dwelling' is a designated 'P' (Permitted) use for all sites within the area of this DAP.

DWELLING ORIENTATION:

- All dwellings must provide at least one (1) habitable room with surveillance of the street.
- R-Codes Clause 5.4.2 (Solar access for adjoining sites) does not apply to the area located within this DAP.

OPEN SPACE / OUTDOOR LIVING:

- The minimum open space requirement for R30 lots (Lots 42 - 55) is 40%.
- The minimum open space requirement for R40 lots (Lots 1 - 22, 24 - 41) is 30%.
- All dwellings shown with a mandatory courtyard position must provide for such.
- All other outdoor living areas will make best use of the Northern or Eastern aspect of the site.
- Except for any group housing site, all outdoor living areas will be provided with a minimum 24m² for all single dwelling lots.

GARAGES * :

- Garages for all lots will be provided for in the positions as shown.
- Except for Lots 17, 18, 20 & 21, all garages will provide a 4.5m street setback.
- Lots 17, 18, 20 & 21 may provide a 3.0m setback to a garage due to the shallow nature of the lots.
- All garages to provide a minimum setback of 0.5m from any lane. A bin collection area is to be provided abutting the lane with a minimum dimension of 1.0m x 1.5m, suitably constructed to the City's standard. This space is for collection only and bins are not permitted to be stored in this area.

VEHICLE ACCESS:

- No vehicle access is allowed across located boundaries depicted in this DAP.

BOUNDARY WALLS:

- Boundary walls are allowed to designated boundaries depicted in this DAP.
- Boundary walls are encouraged to the sites surrounding the Homestead lots in an effort to improve the infill possibilities for these sites at a later time.
- All boundary walls will be finished to a standard satisfactory to the City.
- R-Codes Clause 5.1.3 (C3.2) does not apply to the area located within this DAP.

FENCING:

- All front boundary fencing shall be uniform construction as shown on this DAP.
- All infill fencing must be non-permeable to maximum height of 1.8m from the level of the higher boundary.
- Provided fencing may not be altered or modified in any way without the consent of the affected neighbour(s) and/or the City.

SETBACKS:

- All provided setbacks shall in accordance with this DAP.
- Any porch, verandah, balcony or equivalent may not project into the designated front setback area by more than one metre (1.0m).

LEGEND:

	DETAILED AREA PLAN BOUNDARY		GARAGE ACCESS
	ORIGINAL LOT 565 CRANLEIGH STREET, DAYTON SUBDIVIDED LOTS		MANDATORY COURTYARD POSITION
	PERMITTED EXTENT OF BOUNDARY WALLS		MANDATORY GARAGE POSITION
	VEHICLE ACCESS RESTRICTION (129BA)		RESIDENTIAL R30
	MINIMUM 3.0m STREET SETBACK, NO AVERAGE		RESIDENTIAL R40
	MINIMUM 2.5m STREET SETBACK, NO AVERAGE		
	MINIMUM 2.0m STREET SETBACK, NO AVERAGE		
	MINIMUM 0.5m LANE SETBACK (*)		
	MINIMUM 1.0m SECONDARY STREET SETBACK		
	UNIFORM FENCING REQUIREMENT, IF PROVIDED		

ENDORSED BY:

STATUTORY PLANNING CITY OF SWAN

DATE: 9/2/2015

CITY OF SWAN REFERENCE NUMBER: DAP 269/A

PROPOSED DETAILED AREA PLAN
 GREVILLEA ESTATE
 LOT 565 CRANLEIGH STREET, DAYTON

aaron sice

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DATE PREPARED - 08 DEC 2014
 SCALE: 1:1000 @ A3