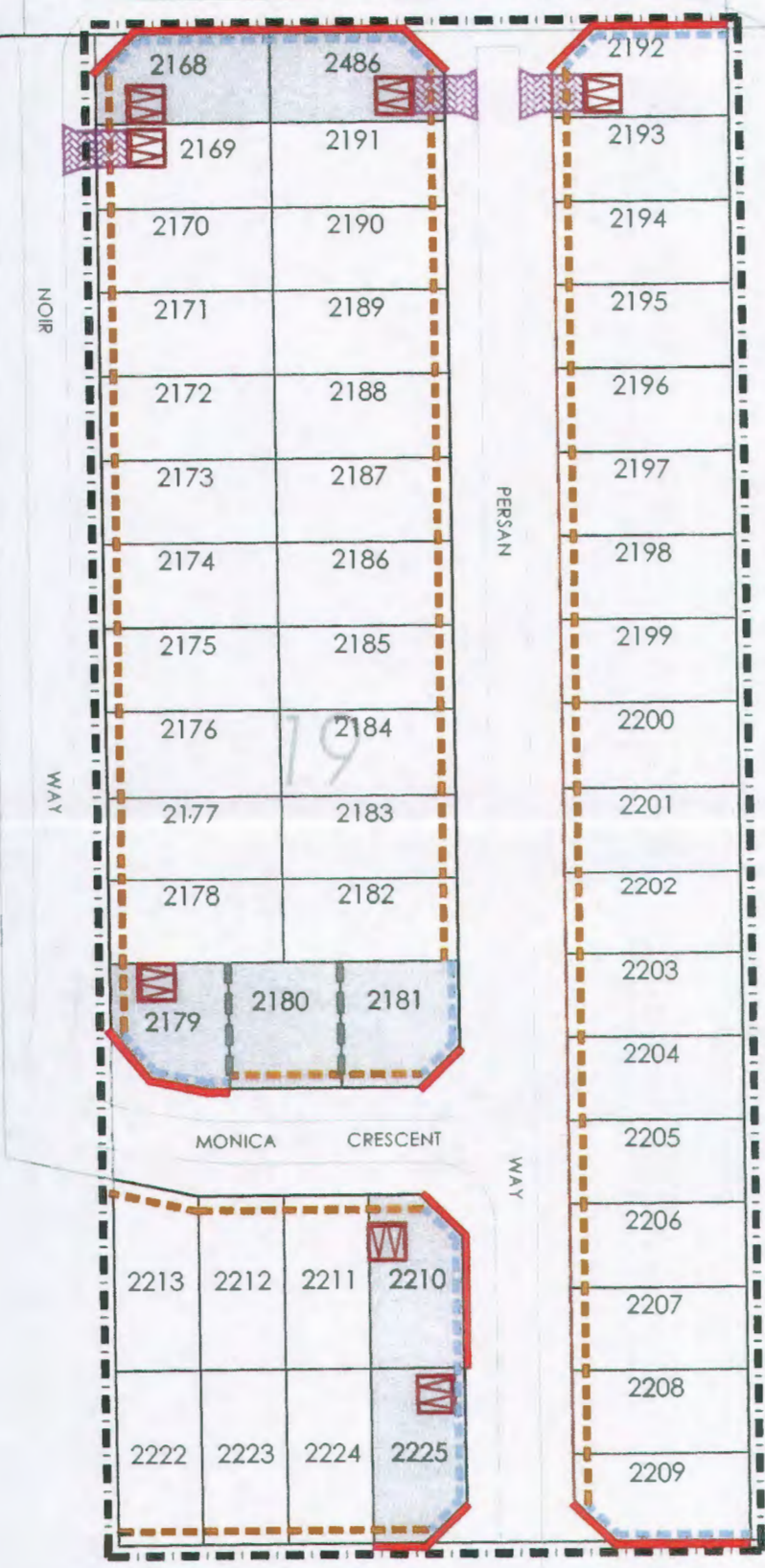


DETAILED AREA PLAN R-CODE VARIATIONS



CITY OF SWAN
Planning Information
 ECM Doc Set ID: 5161613
 Approval Date: 22/06/2015

Disclaimer:
 The City makes every attempt to keep its published records up to date; however the subject document may have been superseded by a more recently approved document.



PROVISIONS

- General**
- The provisions of the City of Swan Local Planning Scheme No 17 (LPS17) and the R30 and R40 Residential Design Codes (R-Codes) apply unless varied by this Detailed Area Plan (DAP)
 - Where there is conflict between the requirements of LPS17 and/or the R Codes with this DAP the provisions of this DAP prevail to the extent of any inconsistency
 - Variations to the R-Code provisions, in accordance with this DAP, do not require consultation with adjoining/other landowners.
 - Minor variations to the requirements of the R-Codes and the DAP may be approved by the City of Swan
- Open Space and Outdoor Living**
- The minimum Open Space requirement (% of site) for development on all lots within this DAP is 25%
 - The minimum 'Outdoor Living' area requirement for development on all lots within this DAP is 16m²
- Setbacks**
- A 2.0m minimum primary street setback is permitted for all lots (no averages apply)
 - A 1.0m minimum secondary street setback is permitted for all lots (no averages apply)
 - Where no setbacks have been specified in this DAP setbacks are to be as per the R-Codes
- Vehicular Access**
- No Vehicular Access is permitted across property boundaries in locations depicted on this DAP
- Dwelling Orientation**
- Dwellings on corner lots must have at least one major opening from a habitable room facing the secondary street

NOTES

- Garage setbacks are to be as per the R codes and should take into consideration the driveway gradients and/or the presence of lot service connections and batters. Reference should be made to the City's driveway gradient requirements (refer City of Swan drawings STD-29-1s, STD-29-2s, STD-29-3s, STD-29-4s)
- Boundary walls on top of retaining walls are subject to assessment by an independent structural engineer.

LEGEND

- Detailed Area Plan Area
- R-Code Variations**
- Minimum 2.0m primary street setback (no averages apply)
- Minimum 1.0m secondary street setback (no averages apply)
- Boundary walls permitted
- No vehicular access
- Lots developable to a maximum density of R40 in accordance with clause 5.2.2 of part one of Dayton Local Structure Plan 2A
- Temporary turnaround pavement
- Designated garage location

Endorsed by:

Manager Statutory Planning
 City of Swan

22/06/2015
 Date

City of Swan Reference No: ..DAP 271

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