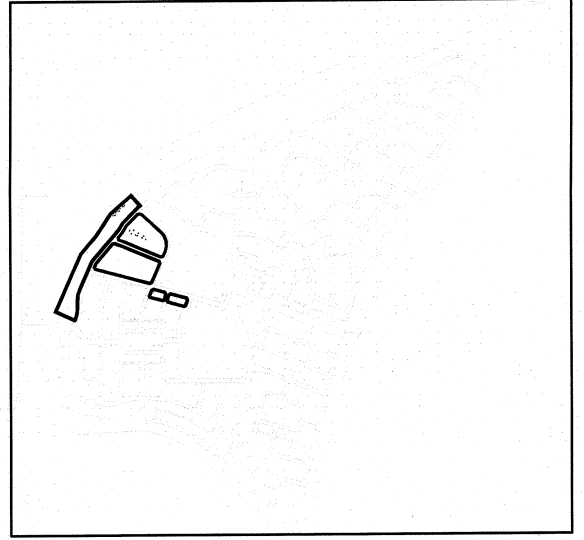


**DETAILED SITE PLANS  
R-CODE VARIATIONS**

All dwellings, patios, garages and carports are to be located within the building envelopes, unless otherwise approved by council. The District Planning Scheme and R-Codes are varied in the following manner:-

1. The requirements of the R-Codes are varied as shown on the plan.
2. The requirements of the R-Codes and Town Planning Scheme shall be satisfied in all other matters.
3. A 1 metre minimum side setback is applicable for lots 4111 to 4164 with the exception of walls with windows to habitable rooms being determined in accordance with table 2b of the residential design codes.
4. Consultation with adjoining or other landowners to achieve a variation of the codes, in accordance with the approved Detailed Site Plan, is not required.
5. Density Coding is;
  - R5 for Lot 4111, 4112, 4128, 4133 and 4150
  - R10 for Lots 4112 to 4164, and
  - R25 for Lots 4040 to 4045, and Lots 4054 to 4057 (refer to density sites plan)
6. Zero lot line on corner allotments to be in accordance with Ellenbrook Management Pty.Ltd and Local Authority Approval.
7. The zero lot line requirement is mandatory for the main residence on all 10m, 12m & 13m cottage allotments.
8. On all other cottage allotments the 2m solar setback is only applicable to housing based upon a zero lot line design.

9. A minimum open space site coverage of 40% is applicable in accordance with subclause 3.4.1 P1 of the R-Codes.
10. The Local Authority subject to an appropriate application and consideration under the relevant statutory provisions may consider building part of the main residence within the 2 metre solar setback, subject to;
  - a. the solar aspect of design of the residence is not compromised;
  - b. Access to the rear of the property is maintained from the outside;
  - c. Construction of the wall on the boundary does not exceed 25% of the overall length of that boundary. This is based on construction of wall commencing from the minimum front setback indicated on the Detailed Site Plan.
11. Building envelopes subject to constraints of retaining wall. Purchasee to consult their builder or structural engineer where necessary.
12. A verandah may (subject to the Building Code of Australia) project not more than one metre into the front building setback area in accordance with sub-clause 3.2.2 P2 of the R-Codes.
13. 0.5m garage setbacks are subject to achieving a maximum grade of 1:6 (vertical : horizontal) from laneway to garage Finished Floor Level (FFL)
14. An alternative garage location to that shown on the plan may be approved by the principal planner or principal building surveyor subject to the, development meeting solar orientation, streetscape objectives and statutory requirements.
15. The minimum front / primary street setback is 6.0 metres for lots 4111 to 4164 inclusive

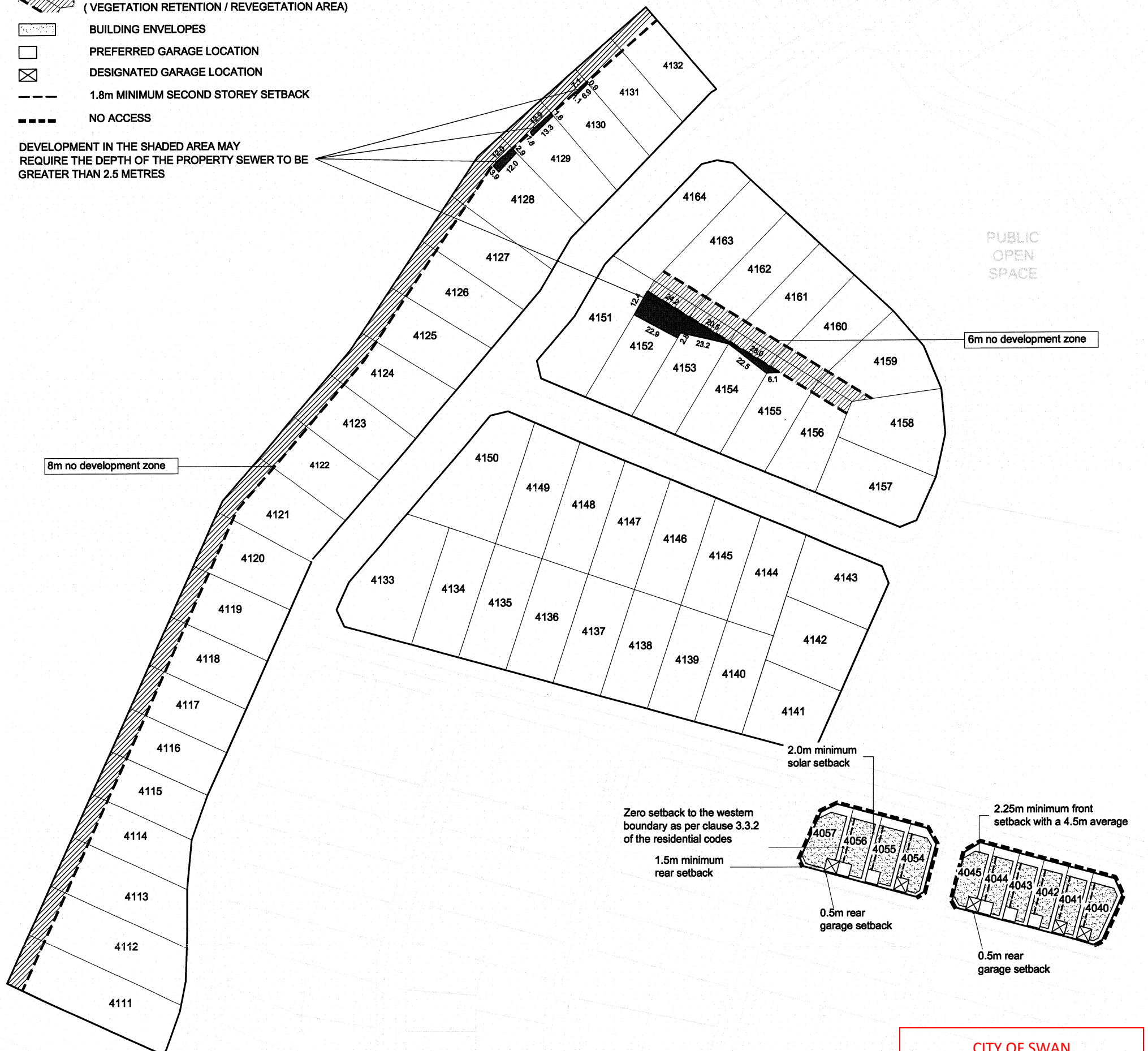


**LEGEND**

- NO DEVELOPMENT ZONE (VEGETATION RETENTION / REVEGETATION AREA)
- BUILDING ENVELOPES
- PREFERRED GARAGE LOCATION
- DESIGNATED GARAGE LOCATION
- 1.8m MINIMUM SECOND STOREY SETBACK
- NO ACCESS

DEVELOPMENT IN THE SHADED AREA MAY REQUIRE THE DEPTH OF THE PROPERTY SEWER TO BE GREATER THAN 2.5 METRES

The development guidelines as shown have been adopted by Council and signed by the Principal Planner.  
 Date: 8/11/09  
 Principal Planner: [Signature]



**CITY OF SWAN**  
**Planning Information**  
 ECM Doc Set ID: 5392881  
 Approval Date: 08/11/2004

*Disclaimer:*  
 The City makes every attempt to keep its published records up to date; however the subject document may have been superseded by a more recently approved document.

**DETAILED SITES PLAN**  
 STAGE 7 & 8 - CHARLOTTE'S VINEYARD  
 ELLENBROOK - CITY OF SWAN

No.	Revision	Date	Initial
H	TEXT CHANGES	10.08.03	CM
G	TEXT CHANGES	19.11.03	JB
F	ALL LANEWAY GARAGES MODIFIED TO 0.5 GARAGE SETBACK	13.11.03	CM
E	SETBACK CHANGES	10.11.03	CM
D	MINOR MODS TO HATCHING AND TEXT	17.09.03	CM
C	MODS TO GARAGE SETBACKS	18.09.03	CM
B	MINOR MODS TO VEGETATION HATCH AND BOUNDARIES	04.09.03	CM
A	PRELIMINARY	13.11.03	CM

Client: ELLENBROOK  
 Scale: 1:2000 at A3  
 Drawn: TT  
 Checked: TT  
 Approved: GA  
 Date: 23/09/04  
 XREFS:

Size: A3  
 Dwg. No.: EJV VL5 DAP 8  
 Rev: H

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