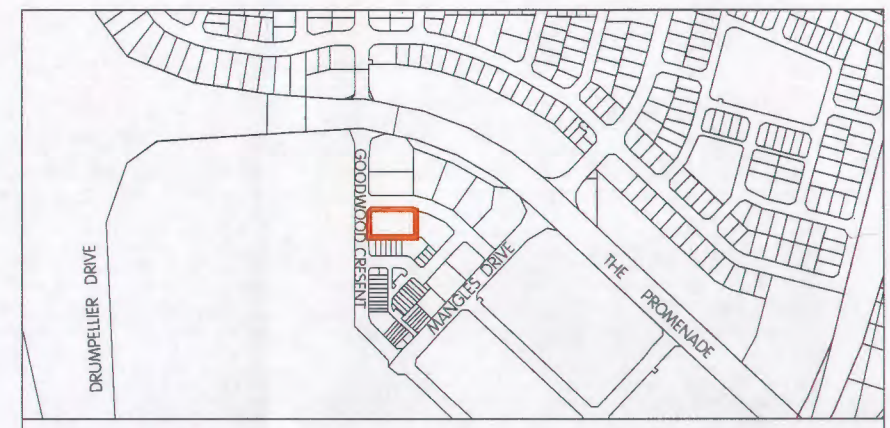




CITY OF SWAN
Planning Information
 ECM Doc Set ID: 3907594
 Approval Date: 17/01/2017

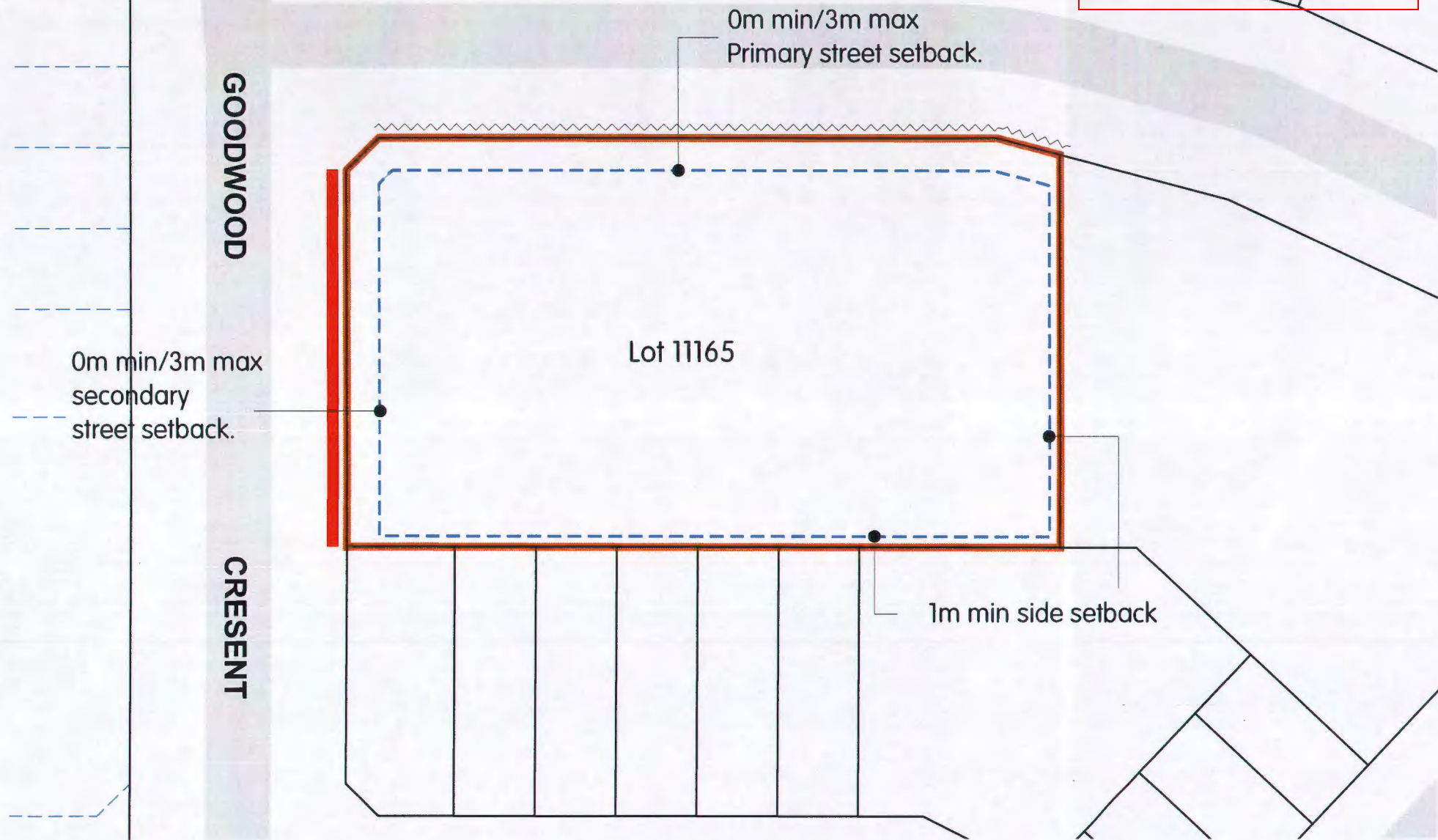
Disclaimer:
 The City makes every attempt to keep its published records up to date; however the subject document may have been superseded by a more recently approved document.



LOCATION PLAN SCALE 1:10,000

PROVISIONS

- The District Town Planning Scheme is varied in the following manner:
1. Refuse / Storage areas are to be fully integrated with the design of the building. Refuse storage areas shall be screened from the public roads.
 2. Tree planting shall be provided within the car park at a rate of one tree per 6 car bays.
 3. Development to provide a 2.0m wide landscaping strip or other permanent screening between between parking bays and the public street, to obscure view of the carpark from the public street.
 4. Where public art is provided it must be provided on site and visible from a public street.
 5. Development shall be designed so that it's shadow cast at midday, 21 June onto any adjoining property does not exceed 50 percent of the site area.
 6. Pedestrian shelter (awnings, etc) shall be provided along a minimum of 80% of the building frontage for the location identified on the plan.
 7. Each building facade facing a public street or laneway shall include at least one window allowing surveillance to the street (minimum size 1m²) for every 10m length of frontage, at each floor.
 8. Exterior walls facing public streets shall provide surface articulation (eg. surface surface patterning, variety in colours / materials, the placement of structural elements such as doors, windows, verandahs, varied setbacks) to mitigate the visual bulk of the building. Large expanses of blank wall are unacceptable. Entries shall be clearly visible and identifiable from the street.
 9. To prevent overlooking into adjoining residential properties, the following provisions shall apply to:
 - any floors of the building, and
 - any unenclosed outdoor spaces which allow for active use (including balconies, carparks, areas designed for regular access by staff or the public) which are raised more than 0.5m above natural ground level. Windows and doors to rooms on these floors, and such unenclosed active outdoor spaces:
 - shall be set back, in direct line of sight within the cone of vision, at least 4.5m from the southern lot boundary; or
 - shall be provided with permanent screening to restrict views in the direction of overlooking into the adjoining property (such screening to be at least 1.6m high, permanently fixed, at least 75% obscure, and made of durable materials).
 These requirements do not apply where windows have a sill height at least 1.6m above finished floor level, or are glazed in obscure glazing and unable to be opened, to prevent overlooking.
 10. Minor variations to the requirements of this LDP may be approved by the City of Swan.



The development guidelines as shown have been adopted by Council and signed by the Principal Planner.

[Signature]
 Co-ordinator Statutory Planning

Date 17.1.2017 CoS Ref: LDP/18/2016
 Expiration Date: 17.1.2027

LEGEND

- Subject Area
- ~ Development Frontage
- Pedestrian Shelter
- - - Setbacks (distances vary as shown)

CITY OF SWAN
 4 JAN 2016
 RECEIVED

REVISED PLAN



CADASTRAL INFORMATION
 SOURCE: WHELANS
 YYMMDD: 141020
 DWG REF: annie-141020-trun_pcg84.dwg
 PROJECTION: PCG84

AERIAL PHOTOGRAPHY
 SOURCE:
 YYMMDD:

SIZE A3
 0 metres 5 10 15 20 25

LOCAL DEVELOPMENT PLAN
Lot 11165 Goodwood Crescent - Ellenbrook Town Centre
 City of Swan

1	PROVISION 3 ADDED	170104	SB	EH
H	UPDATED AND ADDED TEXT	161222	RF	EH
G	MINOR TEXT EDIT	161201	HH	EH
REV	DESCRIPTION	YYMMDD	DRAWN	APPR'D

REF NO. **EJV TWC** DRAW NO. **RD1 416** REV. **1**

DISCLAIMER: ISSUED FOR DESIGN INTENT ONLY. ALL AREAS AND DIMENSIONS ARE SUBJECT TO DETAIL DESIGN AND SURVEY